

## GENERAL NOTES

- ALL ROOFS TO SLOPE AT 1/4" PER FOOT MINIMUM.
- ALL ROOFS TO RECEIVE 1/4" PER FOOT TAPERED INSULATION MINIMUM UNLESS OTHERWISE NOTED.
- INSULATION TO BE MINIMUM OF 1/4" AT ALL ROOF DRAINS.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
- ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED 'EXISTING'.
- ALL EQUIPMENT LOCATED IS APPROXIMATE - CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS.
- ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED (P.T.) SEE PROJECT MANUAL FOR PASTERING REQUIREMENTS.
- ALL WOOD BLOCKING INDICATED IN DETAILS ON DRAWINGS AS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE - SEE PROJECT MANUAL.
- ALL MECHANICAL FLASHINGS INDICATED IN DETAILS ON DRAWINGS AS ARE TO EXTEND A MINIMUM OF 3" OR WHAT IS REQUIRED BY MANUFACTURER ONTO THE FLAT PORTION OF THE ROOF.
- CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/ A LEVEL. AFTER INSPECTION TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
- CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO INSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FRAMES OR OBJECTS WILL BE PERCHED OR DAMAGED.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING CONSTRUCTION & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/ NO ADDITIONAL COST TO OWNER.
- ALL SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED W/ LAWN AREAS MAGNETICALLY RAISED TO REMOVE ANY METAL DEBRIS & RE-SEEDING AS REQUIRED TO MATCH ADJACENT CONDITIONS.
- SNOW/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
- ALL CRACKS ARE TO BE SLOPED @ A MINIMUM OF 1/4" PER FOOT.
- COORDINATE CRACKS AROUND EXISTING HVAC UNITS AS REQUIRED TO AVOID POUNDING.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & REINSTALLATION OF EXISTING LIGHTS & ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/ NO ADDITIONAL COST TO THE OWNER.
- SNOW/CLEAN OUT ALL EXISTING VENT STACK BEFORE THE INSTALLATION OF METAL SUBVEE.
- NOTIFY CALL BEFORE YOU DIG BEFORE STARTING ANY SITE EXCAVATION.
- SEE PROJECT MANUAL FOR ALLOWANCES & ADDITIONAL INFORMATION.
- ALL DRAIN PIPING IS INSULATED AND ABOVE THE CEILING THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST.
- ALL NEW ALUM. FLASHINGS COLOR TO MATCH EXISTING ALUM. FLASHINGS COLORS.
- SEE PROJECT MANUAL FOR ADD INFO.

## CONSTRUCTION NOTES: <-0

- FOR ROOF DRAINS AT ALL CONC. DECKS SEE DETAIL - (A)
- FOR ROOF DRAINS AT ALL TECTUM DECKS SEE DETAIL - (A)
- FOR EMERGENCY DRAINS AT ALL ROOF AREAS SEE DETAIL - (C)
- FOR VENT STACKS AT ALL CONC. DECKS SEE DETAIL - (A)
- FOR VENT STACKS AT ALL TECTUM DECKS SEE DETAIL - (A)
- FOR CHIMNEY REGLET FLASHING SEE DETAIL - (A)
- FOR PITCH POCKET AT ALL TECTUM DECKS SEE DETAIL - (A)
- FOR CURBS AT ALL CONC. DECKS SEE DETAIL - (H)
- FOR CURBS AT ALL TECTUM DECKS SEE DETAIL - (A)
- FOR EXPANSION JOINTS AT ALL TECTUM DECKS SEE DETAIL - (A)
- CONTRACTOR TO REMOVE EXISTING ROOF DRAIN, SUMP AND THE VERTICAL ROOF LEADER W/ NEW HORIZONTAL ROOF LEADERS - SEE PROJECT MANUAL.
- NEW HORIZONTAL ROOF LEADER MATCH DIAMETER OF EXISTING SLOPED @ 1/4" TO EXISTING ABOVE CEILING & ITS VERTICAL LEADERS AS REQUIRED. SEAL ALL PENETRATIONS THROUGH WALLS W/ FIRE PUTTY AS REQUIRED BY CODE. PATCH & REPAIR ANY AREAS DAMAGED BY INSTALLATION OF NEW LEADERS - SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO REMOVE EXISTING PITCH POCKET PIPE & WRING & DISCARD. COVER HOLE W/ METAL PLATE.
- CONTRACTOR TO REMOVE EXISTING SCUPPERS & DOWNSPOUTS. PATCH & REPAIR HOLES. NOTE: CAP ANY DOWNSPOUTS 3" BELOW GRADE & FILL HOLES. P. APPLICABLE PITCH GUTTERS. ADD NEW DOWNSPOUTS & SPLASH-BLOCKS.
- CONTRACTOR TO REPLACE BRICK (AS REQUIRED) REPORT & ACID WASH EXISTING CHIMNEYS @ ROOF 'C' (TOTAL BRICK 100 W/ PER CHIMNEY STACK) - SEE PROJECT MANUAL FOR UNIT PRICES.
- CONTRACTOR TO DEMO WINDOW & BRICK IN OPENING (REGRESS WINDOWS IN 1) MATCH EXISTING BRICK/HORTAR PATTERN (TOTAL OF 6 WINDOWS) - SEE PROJECT MANUAL FOR UNIT PRICES.
- CONTRACTOR TO REMOVE EXISTING ROOF DRAINS & PATCH HOLES. USE EXISTING DRAINAGE PIPE LINES FOR NEW ROOF DRAINAGE SYSTEM.
- CONTRACTOR TO REMOVE EXISTING SPLASH BLOCKS AND REPLACE W/ NEW SPLASH BLOCKS - SEE PROJECT MANUAL FOR ADDITIONAL INFO.
- CONTRACTOR TO REPAIR ROOF ACCESS DOOR AS REQUIRED. SCRAPE PRIME AND PAINT ROOF ACCESS BRACK. REMOVE EXIST. WINDOW AND REPLACE W/ PANEL. MAKE AREA WATER TIGHT AFTER REPAIRING THE AREA - SEE PROJECT MANUAL FOR ADDITION INFO.
- CONTRACTOR TO SCRAPE PRIME AND PAINT EXISTING LOWER & ADJACENT METAL STANDING SEAM PANELS AFTER REPAIRING THE AREA CONTRACTOR RESPONSIBLE TO MAKE ARE WATER TIGHT - SEE PROJECT MANUAL FOR ADDITIONAL INFO.
- CONTRACTOR TO INSTALL NEW 6" COPPER FLASHING PATCH & MAKE WATER TIGHT BY SETTING IN NEW FLASHING & RESEALING TO EXISTING. MATCH EXISTING PROJECT MANUAL FOR ADDITIONAL INFO.
- DEMO EXISTING ROOF. REPLACE W/ NEW EPDM ROOFING MEMBRANE.
- SEE DETAILS (A) (B) (C) (D) (E) (F) (G) (H) (I) (J) (K) (L) (M) (N) (O) (P) (Q) (R) (S) (T) (U) (V) (W) (X) (Y) (Z) (AA) (AB) (AC) (AD) (AE) (AF) (AG) (AH) (AI) (AJ) (AK) (AL) (AM) (AN) (AO) (AP) (AQ) (AR) (AS) (AT) (AU) (AV) (AW) (AX) (AY) (AZ) (BA) (BB) (BC) (BD) (BE) (BF) (BG) (BH) (BI) (BJ) (BK) (BL) (BM) (BN) (BO) (BP) (BQ) (BR) (BS) (BT) (BU) (BV) (BW) (BX) (BY) (BZ) (CA) (CB) (CC) (CD) (CE) (CF) (CG) (CH) (CI) (CJ) (CK) (CL) (CM) (CN) (CO) (CP) (CQ) (CR) (CS) (CT) (CU) (CV) (CW) (CX) (CY) (CZ) (DA) (DB) (DC) (DD) (DE) (DF) (DG) (DH) (DI) (DJ) (DK) (DL) (DM) (DN) (DO) (DP) (DQ) (DR) (DS) (DT) (DU) (DV) (DW) (DX) (DY) (DZ) (EA) (EB) (EC) (ED) (EE) (EF) (EG) (EH) (EI) (EJ) (EK) (EL) (EM) (EN) (EO) (EP) (EQ) (ER) (ES) (ET) (EU) (EV) (EW) (EX) (EY) (EZ) (FA) (FB) (FC) (FD) (FE) (FF) (FG) (FH) (FI) (FJ) (FK) (FL) (FM) (FN) (FO) (FP) (FQ) (FR) (FS) (FT) (FU) (FV) (FW) (FX) (FY) (FZ) (GA) (GB) (GC) (GD) (GE) (GF) (GG) (GH) (GI) (GJ) (GK) (GL) (GM) (GN) (GO) (GP) (GQ) (GR) (GS) (GT) (GU) (GV) (GW) (GX) (GY) (GZ) (HA) (HB) (HC) (HD) (HE) (HF) (HG) (HH) (HI) (HJ) (HK) (HL) (HM) (HN) (HO) (HP) (HQ) (HR) (HS) (HT) (HU) (HV) (HW) (HX) (HY) (HZ) (IA) (IB) (IC) (ID) (IE) (IF) (IG) (IH) (II) (IJ) (IK) (IL) (IM) (IN) (IO) (IP) (IQ) (IR) (IS) (IT) (IU) (IV) (IW) (IX) (IY) (IZ) (JA) (JB) (JC) (JD) (JE) (JF) (JG) (JH) (JI) (JJ) (JK) (JL) (JM) (JN) (JO) (JP) (JQ) (JR) (JS) (JT) (JU) (JV) (JW) (JX) (JY) (JZ) (KA) (KB) (KC) (KD) (KE) (KF) (KG) (KH) (KI) (KJ) (KK) (KL) (KM) (KN) (KO) (KP) (KQ) (KR) (KS) (KT) (KU) (KV) (KW) (KX) (KY) (KZ) (LA) (LB) (LC) (LD) (LE) (LF) (LG) (LH) (LI) (LJ) (LK) (LL) (LM) (LN) (LO) (LP) (LQ) (LR) (LS) (LT) (LU) (LV) (LW) (LX) (LY) (LZ) (MA) (MB) (MC) (MD) (ME) (MF) (MG) (MH) (MI) (MJ) (MK) (ML) (MM) (MN) (MO) (MP) (MQ) (MR) (MS) (MT) (MU) (MV) (MW) (MX) (MY) (MZ) (NA) (NB) (NC) (ND) (NE) (NF) (NG) (NH) (NI) (NJ) (NK) (NL) (NM) (NN) (NO) (NP) (NQ) (NR) (NS) (NT) (NU) (NV) (NW) (NX) (NY) (NZ) (OA) (OB) (OC) (OD) (OE) (OF) (OG) (OH) (OI) (OJ) (OK) (OL) (OM) (ON) (OO) (OP) (OQ) (OR) (OS) (OT) (OU) (OV) (OW) (OX) (OY) (OZ) (PA) (PB) (PC) (PD) (PE) (PF) (PG) (PH) (PI) (PJ) (PK) (PL) (PM) (PN) (PO) (PP) (PQ) (PR) (PS) (PT) (PU) (PV) (PW) (PX) (PY) (PZ) (QA) (QB) (QC) (QD) (QE) (QF) (QG) (QH) (QI) (QJ) (QK) (QL) (QM) (QN) (QO) (QP) (QQ) (QR) (QS) (QT) (QU) (QV) (QW) (QX) (QY) (QZ) (RA) (RB) (RC) (RD) (RE) (RF) (RG) (RH) (RI) (RJ) (RK) (RL) (RM) (RN) (RO) (RP) (RQ) (RR) (RS) (RT) (RU) (RV) (RW) (RX) (RY) (RZ) (SA) (SB) (SC) (SD) (SE) (SF) (SG) (SH) (SI) (SJ) (SK) (SL) (SM) (SN) (SO) (SP) (SQ) (SR) (SS) (ST) (SU) (SV) (SW) (SX) (SY) (SZ) (TA) (TB) (TC) (TD) (TE) (TF) (TG) (TH) (TI) (TJ) (TK) (TL) (TM) (TN) (TO) (TP) (TQ) (TR) (TS) (TT) (TU) (TV) (TW) (TX) (TY) (TZ) (UA) (UB) (UC) (UD) (UE) (UF) (UG) (UH) (UI) (UJ) (UK) (UL) (UM) (UN) (UO) (UP) (UQ) (UR) (US) (UT) (UU) (UV) (UW) (UX) (UY) (UZ) (VA) (VB) (VC) (VD) (VE) (VF) (VG) (VH) (VI) (VJ) (VK) (VL) (VM) (VN) (VO) (VP) (VQ) (VR) (VS) (VT) (VU) (VV) (VW) (VX) (VY) (VZ) (WA) (WB) (WC) (WD) (WE) (WF) (WG) (WH) (WI) (WJ) (WK) (WL) (WM) (WN) (WO) (WP) (WQ) (WR) (WS) (WT) (WU) (WV) (WW) (WX) (WY) (WZ) (XA) (XB) (XC) (XD) (XE) (XF) (XG) (XH) (XI) (XJ) (XK) (XL) (XM) (XN) (XO) (XP) (XQ) (XR) (XS) (XT) (XU) (XV) (XW) (XX) (XY) (XZ) (YA) (YB) (YC) (YD) (YE) (YF) (YG) (YH) (YI) (YJ) (YK) (YL) (YM) (YN) (YO) (YP) (YQ) (YR) (YS) (YT) (YU) (YV) (YW) (YX) (YY) (YZ) (ZA) (ZB) (ZC) (ZD) (ZE) (ZF) (ZG) (ZH) (ZI) (ZJ) (ZK) (ZL) (ZM) (ZN) (ZO) (ZP) (ZQ) (ZR) (ZS) (ZT) (ZU) (ZV) (ZW) (ZX) (ZY) (ZZ)

## SYMBOL LEGEND

- PLAN SECTION DETAIL, OR ELEV. NUMBER SHEET NUMBER
- TAPERED INSULATION CRACKET SLOPED AT 1/4" MINIMUM
- NEW MWP & ROOF DRAIN TO BE INSTALLED. 1/4" TO NEAREST EXISTING DRAIN LEADER - SEE CONSTRUCTION NOTE #1 & 2
- EXISTING HVAC UNIT TO REMAIN - SEE CONSTRUCTION NOTE #3 & 4
- EXISTING HVAC UNIT TO REMAIN - SEE CONSTRUCTION NOTE #3 & 4
- EXISTING 4" VENT STACK TO REMAIN - SEE CONSTRUCTION NOTE #4 & 5
- EXISTING ROOF DRAIN TO BE REMOVED & PATCH HOLE - SEE CONSTRUCTION NOTE #1 & 2
- EXISTING PITCH POCKET TO BE REMOVED & REPLACED - SEE CONSTRUCTION NOTE #7
- EXISTING PITCH POCKET (NOT IN USE) DEMO & ROOF OVER - SEE CONSTRUCTION NOTE #4
- EXISTING CHIMNEY STACKS TO BE REPORTED - SEE CONSTRUCTION NOTE #1
- INDICATES NEW TAPERED INSULATION SLOPED AT 1/4" MIN
- INDICATES EXISTING PITCH OF ROOF
- NEW HORIZONTAL ROOF DRAINAGE LEADER 1/4" TO EXISTING VERTICAL DRAINAGE LEADER - SEE CONSTRUCTION NOTE #1
- NEW HORIZONTAL ROOF DRAINAGE LEADER 1/4" TO EXISTING VERTICAL DRAINAGE LEADER - SEE CONSTRUCTION NOTE #1
- WALKWAY PADS - SEE PROJECT MANUAL
- HIGH POINT MP - HIGH POINT OF INSULATION
- DEM. EXISTING EXPANSION JOINT & INSTALL NEW - SEE CONSTRUCTION NOTE #1
- EXIST. ROOF HATCH TO REMAIN
- INSTALL NEW SPLASH BLOCK - SEE CONSTRUCTION NOTE #1
- REMOVE EXISTING SCUPPERS AND DOWNSPOUTS - SEE CONSTRUCTION NOTE #1
- CONSTRUCTION NOTES

## ROOF AREA:

ROOF 'A' - 5,546 S.F.  
ROOF 'B' - 2,444 S.F.  
ROOF 'C' - 2,020 S.F.  
ROOF 'D' - 1976 S.F.  
ROOF 'E' - 4,504 S.F.  
TOTAL: 16,430 S.F.

## LIST OF DRAWINGS

CV - COVER SHEET  
A1 - ROOF PLAN & GENERAL INFORMATION  
A2 - ROOF DETAILS

## CODE/ENERGY DATA

### CODE INFORMATION

USE GROUP: B  
CONSTRUCTION CLASS: 2C

### ENERGY CONSERVATION

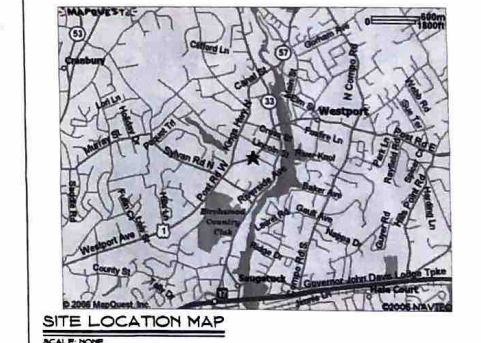
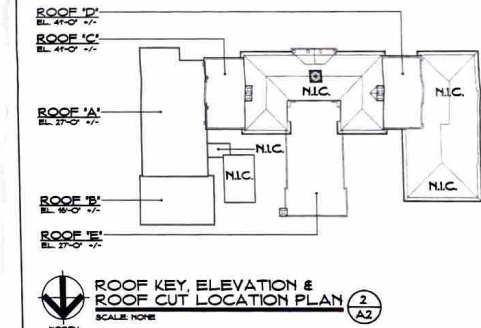
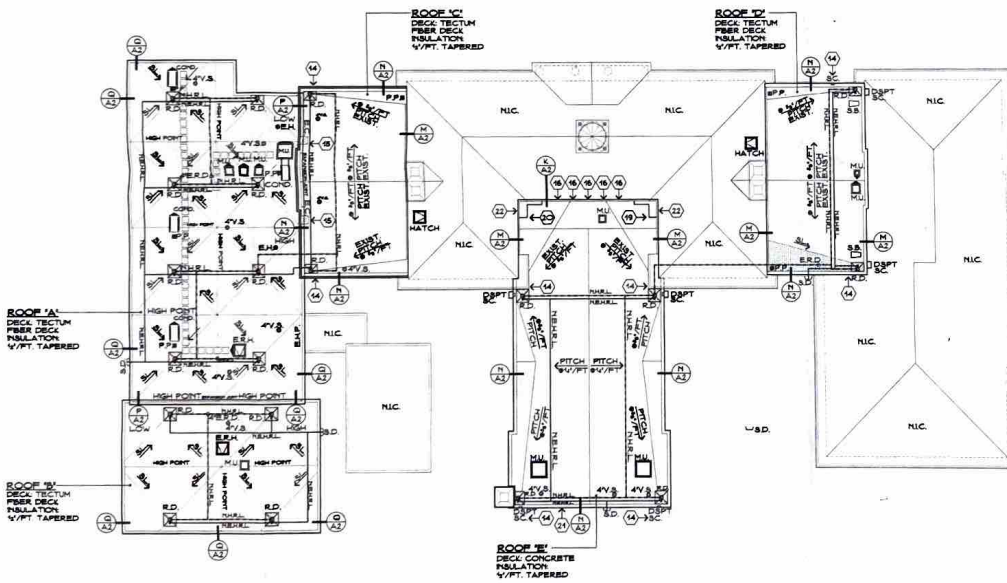
CASC REQUIREMENT U LESS THAN 0.03

### ROOFS: 'A', 'B', 'C', 'D', & 'E'

OUTSIDE AIR	0.17
EPDM ROOFING MEMBRANE	0.33
1/4" PERITE BOARD	1.00
AVG. 48" POLYSTY. INSUL.	27.00
1/4" TECTUM DECK	1.00
INSIDE AIR	0.61
R TOTAL	32.04
U TOTAL	0.031

## DEMOLITION NOTES:

- AT ALL ROOFS 'A', 'B', 'C', 'D' & 'E' - REMOVE ALL OF THE FOLLOWING:
  - 1" PL. RUBBER FOOTING
  - ALL RSD & TAPERED INSULATION
  - WOOD BLOCKING CURBS UNLESS OTHERWISE NOTED
  - CANT STRIPS & TAPERED EDGE STRIPS
  - ROOF FLASHING MATERIAL
  - ROOF DRAINS
  - VENT STACK FLASHINGS
  - PITCH POCKETS
  - PERIMETER METAL PASCAL/CAP FLASHINGS UNLESS OTHERWISE NOTED
  - METAL ROOF LEADERS
  - METAL SCUPPERS & DOWNSPOUTS



ROOF REPLACEMENTS FOR:  
**TOWN OF WESTPORT  
KING'S HIGHWAY ELEMENTARY SCHOOL**  
125 POST ROAD WEST  
WESTPORT, CONNECTICUT 06880

**SILVER / PETRUCELLI + ASSOCIATES**  
Architects and Engineers  
3190 Whitney Avenue, Hamden, CT 06518-2340  
Tel. 203 230 9007 Fax. 203 230 8247  
silverpetrucci.com

**ROOF PLAN & GENERAL INFORMATION**  
STATE PROJ. XXX-XXX-XXXX  
Drawing Title: ROOF PLAN & GENERAL INFORMATION  
Date: MARCH 8, 2006  
Scale: 1/8" = 1'-0"  
Drawn By: M. DUANE JR.  
Project Number: 03.93

A1