



**Westport Public Schools**  
**Coleytown Elementary School – 23-008-RFP**  
***Request for Proposal for Renovation Status Evaluation***

**RFP Issue Date: August 26, 2022**

**Proposals are Due no later than September 15, 2022 at 2:00 p.m.**

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## **I. Building Description**

The Coleytown Elementary School is located at 65 Easton Road at the corner of North Avenue and Easton Road in Westport, Connecticut. It is located on a 27.33-acre parcel that is shared with the Coleytown Middle School and Coleytown Engine Company (fire department). The building is a one-story facility originally built in 1953 with subsequent additions in 1974, 1994 and 1997. The building is served by an on-site septic system.

The school houses grades kindergarten through five as well as their pre-kindergarten program, Stepping Stones. The facility is listed at 73,846 square feet on the ED-050 form. (Note, the ED-050 lists parcel size at 11 acres. The parcel card on the town GIS mapping is 27.33 acres.)

Refer to Appendix B for additional descriptions of the site and building descriptions.

## **II. Scope of Services**

Westport Public Schools is seeking highly qualified architectural and engineering firms to prepare a renovation status analysis of the Coleytown Elementary School as it relates to a possible renovation of the facility under a grant application with the State of Connecticut through the Office of School Construction Grants and Review. The selected A/E team will prepare the analysis in a two-part process as described below.

### **A. Preliminary Assessment**

The A/E team will perform a preliminary assessment of the building components (building envelope, building layout and interiors, structural components (that are reasonably viewable), HVAC and plumbing systems, electrical systems, fire suppression systems, etc.), the site layout and the site septic system to the extent that will allow the A/E to provide a statement of professional opinion that they can provide the required certifications listed in the Form SCG-3520 – Renovate as New Status Checklist.

The statement shall be signed and sealed by the principal-in-charge for the A/E team. Should the A/E team determine that it cannot provide the certifications in items 5, 6, 7, 8, 9, 10, and 11 of the SCG-3520, the district will not authorize the A/E firm to proceed with the Comprehensive Renovation Assessment.

### **B. Comprehensive Renovation Assessment**

Upon notice to proceed by Westport Public Schools, the A/E firm shall complete a comprehensive analysis of the facility utilizing the SCG-3020 as the scope of work. The A/E firm shall prepare all documents listed in the SCG-3020 including the written

letter of request for signature by the Superintendent of Schools in item 1. The A/E firm shall hire an independent professional cost estimator to prepare the cost analysis listed in item 2.

### **C. Minimum Qualifications**

Architectural and engineering teams submitting for this scope of work shall demonstrate extensive experience with the OSCGR process as well as an understanding of the renovation status process. Firms shall have prepared a minimum of three renovation status analysis in the state of Connecticut. Such analysis shall be provided with the A/E firms proposal.

The A/E teams shall comprise of licensed architects and engineers in the state of Connecticut. Such teams are not required to have designed schools but those who have will be given greater consideration to their qualifications.

## **III. A/E Team Selection Process**

### **A. Review Process**

The district will select the A/E team based on a combination of qualifications, experience, capacity, references, fee and other factors as the district deems applicable during the evaluation of the proposals.

### **B. Presentation and Interview**

The district may select a firm based solely on the submissions or elect to interview multiple firms prior to selection. Should the district elect to interview firms, the firms will be provided one-week to prepare for the interview. The interviews are anticipated to be in person.

## **IV. Instructions for Submission of Design Services Proposal**

### **A. Submission Logistics**

A total of **3 hard copies** of each firm's proposal must be received at the following location on or before 2:00 p.m. on September 15, 2022. The district will not take responsibility for late submissions regardless of delivery method.

Proposals shall be addressed to:

Mr. Elio Longo  
Chief Financial Officer  
110 Myrtle Avenue  
Westport, CT 06880

Additionally, 1 electronic copy of each firm's proposal must be sent via electronic mail to the following recipients:

- Elio Longo – [elongo@westportps.org](mailto:elongo@westportps.org)
- John Koplas – [john.koplas@collierseng.com](mailto:john.koplas@collierseng.com)

Questions regarding this request for proposals should be directed via electronic mail to:

- John Koplas, Senior Project Manager, [john.koplas@collierseng.com](mailto:john.koplas@collierseng.com) with copy to Mr. Elio Longo, [elongo@westportps.org](mailto:elongo@westportps.org)

Questions must be submitted by Friday, September 9, by 4:00 p.m. A final addendum will be posted to the DAS website by Monday, September 12, by 12:00 p.m.

Please clearly mark all proposals with the following:

**“Westport Public Schools – Coleytown Renovation Status Analysis: 23-008-RFP”**

## **B. Contents of Written Proposals**

The proposals shall include the A/E team experience with renovation status analysis in prior projects including copies of three analyses that were performed. Include resumes of the key members that will perform the respective discipline analysis as well as a copy of their current Connecticut license.

The proposals may include any other information the team believes will further demonstrate their expertise in school renovations in Connecticut.

## **C. Fee Proposal**

Utilize Appendix C – Fee proposal form to prepare fee proposals. Include hourly rates of all consultants as attachments thereto.

## **V. Termination or Amendment**

A. The Board reserves the right to reject any and all proposals when it deems such action is in the best interests of the Board and also to select a respondent that the Board determines best meets its needs.

B. Costs and fees contained in the proposal will remain valid for a period of ninety (90) days after the closing date for submission of proposals and may be extended beyond that time by mutual agreement between the Board and the respondent.

C. Submitting firms shall provide any exceptions to the contract in writing with their proposal. Failure to do so will be considered full acceptance of the contract. Exceptions to the contract will also be considered in the evaluation of proposals.

## **VI. Insurance**

A. The successful respondent shall furnish a certificate of insurance to the Board for the following insurance coverage within ten (10) days from contract execution. The certificate of insurance shall contain the project description and name the Board as an additional insured. All insurance coverage shall be written with an insurance company licensed to conduct business in the State of Connecticut. Insurance coverage shall remain in full force for the duration of the contract term including any and all extensions. Such certificate of insurance shall specify that the Board will receive thirty (30) days' notice of any cancellation, non-renewal or reduction in coverage and limits originally provided.

1. General Liability with a combined single limit of \$1,000,000 per occurrence, \$2,000,000 aggregate for bodily injury and property damage.
2. Automobile Liability with a combined single limit of \$1,000,000 per occurrence, \$2,000,000 aggregate for owned, non-owned, and hired vehicles.
3. Workers Compensation with a minimum of \$500,000 as required by the State of Connecticut.
4. Professional Liability with a combined single limit of \$1,000,000 per occurrence, \$2,000,000 aggregate.
5. Umbrella Liability with a combined single limit of \$1,000,000 per occurrence, \$2,000,000 aggregate for bodily injury and property damage.

## **Appendix A – Form SCG-3520 – Renovate as New Status Checklist**

Local Education Agency	State Project No.	Phase
School	Architect	Date

DAS - OFFICE OF SCHOOL CONSTRUCTION GRANTS & REVIEW (OSCG&R) PLAN REVIEW CHECKLIST

## RENOVATE AS NEW STATUS (RNV)

### FORM SCG-3520

- Section 10-282 (18) of the Connecticut General Statutes (C.G.S.) defines "Renovation" as "a school building project to totally refurbish an existing building, (A) which results in the renovated facility taking on a useful life comparable to that of a new facility and which will cost less than building a new facility as determined by the department, provided the school district may submit a feasibility study and cost analysis of the project prepared by an independent licensed architect to the department prior to final plan approval, (B) which was not renovated in accordance with this subdivision during the twenty-year period ending on the date of application, and (C) of which not less than seventy-five per cent of the facility to be renovated is at least thirty years old."
- Submit items 01-12 with this form. Place an **X** in the District/Design Professional Submission Column when completed.
- Status column (by SCG staff): ☒ Accepted ☐ Open Item

		District/Design Professional Submission Column		Status
Submission Requirements			OSCG&R Comments	
01.	Provide a written letter of request, signed by the Superintendent of Schools for "Renovation" designation as defined under <a href="#">C.G.S. 10-282 (18)</a> .			
02.	Provide a completed <b>FORM SCG-3501</b> "Cost Analysis for Proposed Renovation Projects" signed by both the Design Professional and the Superintendent of Schools. Cost and square footage values indicated on <b>FORM SCG-3501</b> must match the most recent on file with the OSCG&R.			
03.	Provide documentation that the applicant has gone through a process of evaluating the proposed project compared to a new facility, including a professional feasibility study with cost estimates.			
04.	Provide a professional cost estimate from an independent licensed architect documenting that the renovated facility will cost less than building a new facility. Include soft costs, temporary provisions, phasing costs, escalation, etc.			
05.	Provide signed and sealed statement that the entire facility will be brought into 100% compliance with all applicable codes including handicapped accessibility, upon completion.			
06.	Provide a written statement indicating the proposed types of education technology that will be incorporated throughout the renovated facility upon completion.			
07.	Provide a written statement, signed and sealed by a Connecticut licensed structural engineer that the structural integrity of the original building has not been compromised, and that upon completion, the renovated facility will have a useful life for continued occupancy comparable to that of a new facility (greater than 50 years).			
08.	Provide a detailed report on all existing building systems, including finishes, roofing, plumbing, water supply, fire protection, heating, ventilating and air conditioning (HVAC), electrical systems, energy monitoring, communications and security systems.			
09.	Provide signed and sealed professional opinions that all of the proposed systems will have a useful life of 20 years (or that comparable to a new system if less than 20 years) following project completion.			
10.	Provide signed and sealed statement from the project's design professionals that all new and replacement windows and glazing provided on the project will be energy efficient.			
11.	Provide signed and sealed statement that all applicable sections of the High Performance Building regulations will be met. Refer to <b>DCS form CT DAS 0450</b> .			
12.	Provide a written statement signed by the Superintendent of Schools that the site of the existing facility to be renovated is central to the area served and adequate and appropriate to provide the educational programs offered. Complete and attach <b>FORM SCG-9009</b> .			
	NOTE: Any additional analysis or documentation deemed necessary by the OSCG&R to properly evaluate this request for Renovation status may be requested after this submission.			

For OSCG&R Use only:

Date received: \_\_\_\_\_ Date revised: \_\_\_\_\_ Committee recommendation: \_\_\_\_\_ Approval recommended: \_\_\_\_\_ Reviewer: \_\_\_\_\_

**Appendix B - 2019 Antinozzi Associates Facility Survey for Coleytown  
ES**



**COLEYTOWN ELEMENTARY SCHOOL**

**5.1.1 Architectural Conditions Analysis**

**Existing Building** The Coleytown Elementary School is a one-story elongated structure located at 65 Easton Road, just north of the Merritt Parkway. It shares its 27-acre site with the Coleytown Middle School and also the local Fire Station. The school was built in 1953, with its first two additions in 1974, followed by additions in 1994 and then 1997.

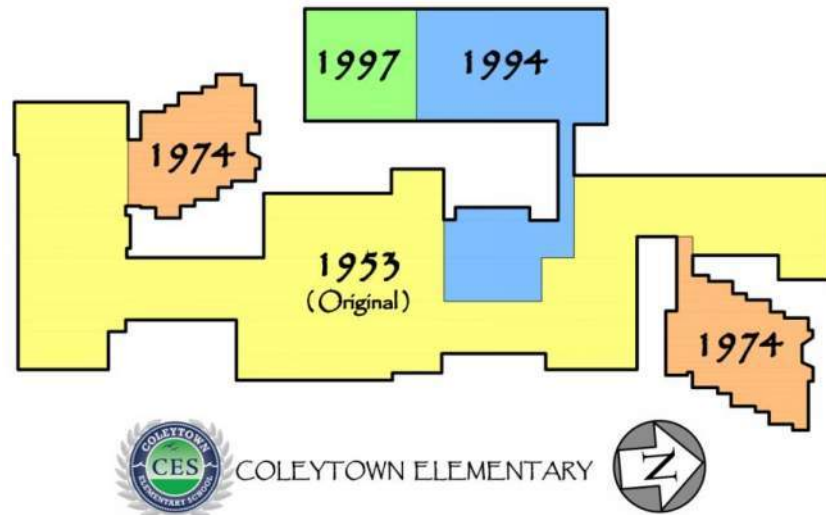


Currently forty-two (42)\* classrooms serve approximately 378 students from Pre-Kindergarten to 5<sup>th</sup> Grade, spread across the three main wings of the structure which radiate out from a central spine. At over 72,000 square feet, the students are provided with a Gymnasium, Library, Broadcast Center, and Cafeteria & Kitchen. Administrative offices and a Nurses Station are located near the main entry. The Preschool in the southwest wing has its own administrative offices.

## COLEYTOWN ELEMENTARY SCHOOL

### 5.1.1 Architectural Conditions Analysis

First constructed in 1953, the original one story, Modern style structure sits on a flat site, consisting of a long central spine with a wing to the north and a wing to the south. In 1974, the school was expanded with two additions; angled/stepped wings off the existing north and south wings. The school added several new classrooms and a new Library with the addition built in 1994, which extended from the central spine towards the west. In 1997, four new classrooms were added to that addition.



Dedicated student bus drop-off is located to the west of the facility with administrative and visitor parking also located this direction. An additional parking lot is located to the north. Playgrounds are located to the south, and playing fields are located to the east.

Since the 1997 Addition, there have been several smaller renovations including:

- Updates to several toilet room finishes and layouts
- Revised plan layout for Administrative Offices
- New Main Entry Vestibule
- Relocation of the Nurse's Station

This report includes descriptions of the various systems, the areas they serve, system capacities, existing conditions, areas of concern, and recommendations for each system. Existing Code-related items and issues are reviewed for conformance with building codes presently in effect at the time of this Study.

\* Represents physical room count. Actual classroom space uses may differ in practice.

**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.1 Architectural Conditions Analysis**

**Building Profile**

Coleytown Elementary School  
65 Easton Road  
Westport, CT 06880

Grades:	Pre-Kindergarten – 5th Grade
Original Construction:	1953
Addition #1 (2 wings):	1974
Addition #2	1994
Addition #3	1997
Lot Size:	27.33 acres
Zoning:	AAA
Number of Parking Spaces:	136 spaces, incl. six (6) handicapped
Building Façade:	Brick veneer and vinyl siding
Roof Construction:	Gabled Roof – Asphalt Shingles Flat Roof – Built-up
Occupancy Classification:	E, Educational A-3, Assembly B, Business
Construction Type:	IIIB –Combustible IIC – Noncombustible
Fire Protection System:	No
Emergency Generator:	No
Handicap Accessible:	Yes
Number of Floors:	One Floor
Existing Total Floor Area:	72,594 SF (gross area)

**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.1 Architectural Conditions Analysis**

**Building Envelope** Building Envelope – Exterior Walls

The exterior walls of the building are constructed of brick veneer with concrete masonry unit backup with an air space and rigid insulation. The wall thickness varies dependent on the era of the addition, but is on average 15". The gable ends are clad in vinyl siding with metal stud backup and batt insulation.



Overall, there were no obvious cracks in the brick veneer, and it appears to be in good condition. There are several locations of minor damage to masonry, mostly located at building corners and at window jambs.





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**5.1.1 Architectural Conditions Analysis**

Mortar joints and caulk joints also appear to be in sound shape except for the window sills at the connecting corridor to the 1993/97 Addition. These should be scraped clean and completely re-grouted.



As indicated in the picture below, there are multiple locations of masonry veneer and precast sills that are in need of cleaning due to moss / mildew / mold. These areas need to be cleaned and treated, and this needs to be kept up regularly. Typically, these locations tend to be in areas that receive little sunlight and also at downspouts and downspout nozzles.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

This staining also occurs at the low brick walls at the north and south 1974 Additions.



There are several areas about the perimeter of the structure that show signs of black staining. These areas should be investigated to determine the source of the issue, repaired and cleaned. Examples of this can be found near Doors 7, 26, 34, and 62.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis



Structural steel columns, fascias, and metal trim work / louvers are in need of scraping, priming, and repainting.



The gap between structural steel fascia segments around the 1974 Additions do not appear to be water-tight and may need to be sealed.

**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
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**5.1.1 Architectural Conditions Analysis**

Vinyl siding, overall, is in good condition, but there were several punctures located at gable ends that are in need of replacement.



There are multiple areas of rust that are in need of scraping, priming, and repainting. Evidence of rust can be found at the grille vents near Doors #3 and #7 and also at the handrails at these locations. Steel lintels at many window openings are in need of the same treatment, as are some of the gutter leaders.





## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis



Many of the exterior doors to the classrooms of the older portions of the school still have wood trim. There is evidence that repair work has been done in the past to repair rotting wood at the base of the side jamb by splicing in new pieces. Some doors have not yet received this repair-work. It is recommended that the wood trim be removed entirely and replaced with new PVC trim.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

###### Building Envelope – Roofs

The school roof consists of two distinct types: asphalt shingles at the gabled roofs and built-up asphalt at the flat roofs. Both roof systems appear to be in fairly good condition. The warranty expirations are unknown at this time.



In addition to exhaust fans and vents, there are several roof top units and HVAC mechanical equipment at various locations on the roof. There are also multiple skylights; some located above corridors, others at classrooms.

Roof drains and gutters appeared clear and in relatively good condition, but should be regularly inspected for any blockages and clogs. It was noted that at least one overflow scupper near Door #24 was free flowing, indicating a possible clogged drain or another problem such as the scupper being located too low relative to roof level.



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.1 Architectural Conditions Analysis**

The gutter near Door #43 was noted to be dented and should be repaired or replaced if necessary.



As shown in the following picture, solar panels have been installed on the western roof of the 1993/97 Addition. Monitor all penetrations for leaks.



A Preventative Maintenance Inspection Report was provided to Coleytown Elementary School from Offshore Construction, Inc. in March 2019 and noted no significant deficiencies.

## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

###### Building Envelope – Exterior Doors

The exterior doors vary in style and material in regards to their respective locations and purposes.

The exterior doors at the main entry and secondary vestibules are clear anodized aluminum and in excellent condition.



Exterior doors at the classrooms of the original school are typically flush metal panel doors with no glass and no exterior hardware. The doors to the newer additions, also metal in metal frames, are equipped with glass. Although mismatched in colors, these doors appear to be in good condition.





## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

Doors to the gym and also to the exterior storage closets near the boiler room are showing signs of rust.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

###### Building Envelope – Windows

The windows throughout the entire building are fixed with hopper-type operable windows. Windows at the 1953 Original Building and both 1974 Additions do not appear original to the buildings. They are aluminum with insulated, double glazing and appear to be in good condition with no evident signs of leaking or seal failure.



The windows for the 1994/1997 Additions also have aluminum frames with fixed glazing and hoppers. They are typically in good operational condition, but there was evidence of possible water infiltration in several areas (for example, water visible on window stool as shown below along the north wall of the main connector corridor).



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.1 Architectural Conditions Analysis**

**Building Interior**     Building Interior - Flooring

The flooring throughout the school is a mostly vinyl composition tile (VCT) with specialty areas having various other types of materials.



The VCT flooring in the corridors of the original building is older but generally in good condition. Several cracks spanning the width of the corridor were noted.

The VCT of the newer portions of the school and the classrooms is typically in good condition and no major deficiencies were noted other than minor areas of wear and tear.

## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

Flooring in the toilet rooms varies from the larger porcelain tile in the more recently renovated toilet rooms to the smaller dated look in the toilet rooms in the 1990's additions. The tile in both locations are in fair to good condition.





**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.1 Architectural Conditions Analysis**

It was noted that there was no flooring material at the northwest vestibule near Door #39.



Rubber base molding throughout the entire school is showing signs of significant wear and tear.



**COLEYTOWN ELEMENTARY SCHOOL**

**5.1.1 Architectural Conditions Analysis**

**Building Interior – Walls**

The interior walls are a mixture of painted CMU, brick, and painted gypsum board. Overall, walls are in good condition, but it was observed that there are some minor scuffs and dings on the lower paneling of the main corridor. Typical touch ups for these walls should be expected; patch and paint.



There are lockers located in the northeast corridor leading from the original school to the northern addition built in the 70's. These lockers are older with many scratches and dings that need touch up.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

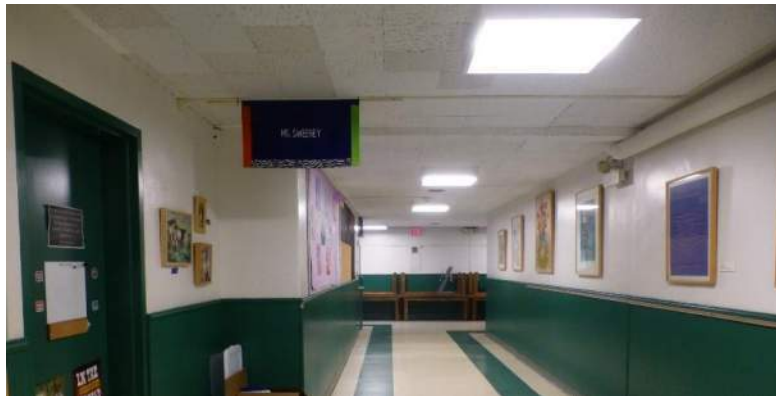
#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

###### Building Interior – Ceiling

The ceilings throughout most of the school are acoustical ceiling tiles (ACT) varying in size from 12"x12" adhered z-spline systems to 24"x48" hung ceiling systems.

In general, the ceilings of the original 1953 building tend to be the 12"x12" tiles. Although a very dated look, these appear to be in fair to good condition except for some areas of unsightly color variation where tiles have been replaced. Per WPS Facilities, the z-spline ceiling tiles are typically adhered to sheetrock above. Sagging is occurring in many locations due to failure of the fastening of the sheetrock to structure, such as along exterior walls at Classrooms 16 and 23. Classroom 27, appears to have water damage at the ceiling and the corner of the interior wall adjacent to the window. Replacing all the z-spline ceilings should be considered.



No major deficiencies were observed in the 24"x48" ACT ceilings overall except water stains in a few classrooms and ceiling tile sagging observed in some locations. The sagging is most likely due to age; tiles should be replaced throughout. A smaller tile of 24"x24" would have less chance of drooping over time.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

The ceiling of the Janitor's Closet was found to have damage, potentially from water. If this has not already been addressed, this should be further investigated to determine the source. Once the source of the damage has been resolved, the ceiling should be scraped, cleaned and repainted.



As noted earlier in the report, there are multiple skylights throughout the school. They appear to be in good condition, and there were no reports of any leaks.





## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

###### Building Interior – Doors and Hardware

Much like the exterior doors, interior doors vary in type, style, and material depending upon function and location.

In the original 1953 building, entry doors to classrooms are either solid core wood or metal doors with a vision panel. Some door frames are still wood, although several have been changed out to hollow metal. The doors in the rest of the school are metal with hollow metal frames, also with a vision panel. Typically, door leafs are 36” wide and are generally in good condition, although some are in need of a new coat of paint for both door and frame. Entry doors have lever-type hardware for accessibility to persons with disabilities.



It was noted that closets in the older classrooms have standard knobs which do not comply with current accessibility codes.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

Doors to the Cafeteria and to several of the toilet rooms in the older portion of the building appear to be original with three panes of glass. If these doors are to be kept, they need to be scraped, cleaned, and repainted. The panes of glass to the toilet rooms should be removed and replaced with frosted, tempered safety glass.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

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##### 5.1.1 Architectural Conditions Analysis

###### Building Interior – Toilet Rooms

There are twenty-six (26) toilet rooms located throughout the facility. Ten (10) of them are multi-fixture and dedicated to children's use. Six (6) single-use toilet rooms are exclusive to a respective classroom. The remaining ten (10) toilet rooms are for staff and visitors. Not all toilet rooms are equipped with handicap accessible fixtures and provide proper ADA clearances. It was observed that some toilet rooms are equipped with ADA automatic push plates. Several toilet rooms do not have mirrors.

Plumbing fixtures appear to be in fairly good condition. However, it was noted that not all sinks have proper knee protection covers at the pipes.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

It appears that the multi-use toilet rooms have been renovated in recent years with newer solid plastic partitions, newer ceiling tiles, and updated tile floors and walls. These rooms appear to be in excellent condition.



Several classrooms are equipped with their own individual toilet rooms. These toilet rooms, in general, appear to be in good condition, although not all are accessible.





## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

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##### 5.1.1 Architectural Conditions Analysis

###### Building Interior – Classrooms

The typical classroom is equipped with storage cabinets with a sink, as well as cubbies for student storage. Although likely to be original to the school at their respective construction dates, these are generally in good condition. As stated earlier, flooring and ceiling tiles are typically in good condition, although there are several classrooms with older, worn tiles.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

###### Building Interior – Preschool

The southwest addition built in the 70's is used as a Preschool, equipped with its own classrooms and offices. Overall, this wing is in good condition, although it was noted that some of the 24"x48" ceiling tiles are showing slight signs of sagging and the walls below the chair-rails are in need of cleaning.



As stated earlier in the Toilet Rooms section, some of the classrooms are provided with individual restrooms. These toilet rooms are designed with children in mind, but are not furnished with accessible grab bars.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

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##### 5.1.1 Architectural Conditions Analysis

###### Building Interior – Cafeteria

The Cafeteria is approximately 2,220 square feet in size and centrally located off the east side of the main corridor. In general, it is in good condition, but the VCT floors are scuffed and worn in many places. Walls and ceilings are also dull and dated.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

###### Building Interior – Kitchen

The Kitchen is located off the north side of the Cafeteria and is approximately 1,200 square feet. It consists of the cooking area, as well as food storage, food serving, and a small office and toilet room for the school chef. The flooring is quarry tile that is in fair condition. The toilet room for the kitchen staff is dated and cramped, and is not accessible.



The WPS food service vendor provided the following recommendations:

- Hot well drain system
- Update lighting
- New portable shelving for storeroom
- Rebuild serving line – new laminate and lighting



## 5.0 Existing Facility Survey

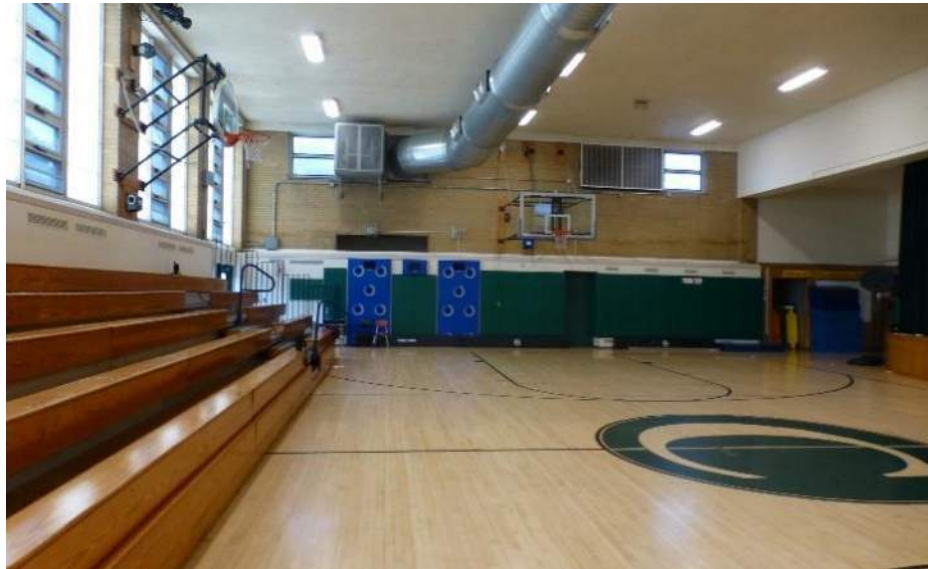
### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

###### Building Interior – Gymnasium

The Gymnasium is located across the corridor from the Cafeteria and is approximately 5,300 square feet. Overall it is in good condition and no major deficiencies were noted. This space also doubles as the school's auditorium. The stage does not appear to be accessible.



The retractable bleachers located on the western wall, when fully opened, overlap onto the basketball court. Alternative means of seating should be investigated so that the court can be used at full size. Bleachers do not appear to include accessible and companion seating.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

###### Building Interior – Library

The Library is located off the main corridor and was part of the addition from 1993. It recently received newer finishes and materials and is in good condition.

###### Building Interior – Staff Lounge

The Staff Lounge is located in the northeast corner of the 1970's Addition and is equipped with a small kitchenette. The Lounge is in good condition although it should be noted that the kitchenette is not accessible.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.1 Architectural Conditions Analysis

###### Building Interior – Administrative and Support Offices

Administrative offices are located immediately off the Main Corridor next to the main entry vestibule. There were no noted issues or concerns for this space. Carpeting appears to be relatively new and in excellent condition.



The office space located near Classroom 13 was noted to have storage cabinets constructed with plywood doors. It is recommended that these be replaced with appropriate cabinet doors with accessible hardware.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

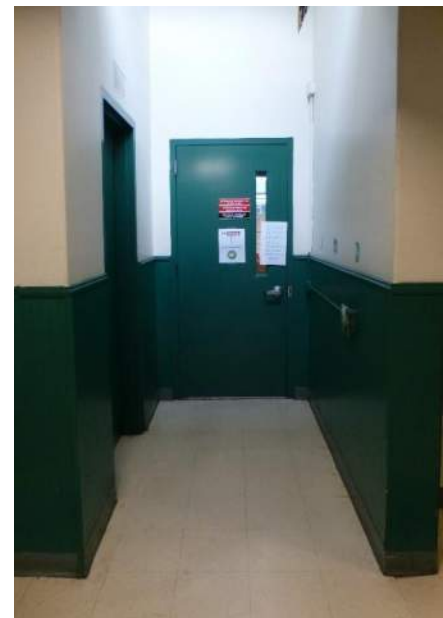
##### 5.1.1 Architectural Conditions Analysis

###### Building Interior – Nurse’s Station

The Nurse’s Station is located off the Main Corridor across the hall from the Administrative Offices. The Station is equipped with two (2) beds and its own individual toilet room. Generally, the Station is in good condition.



Entry to the Nurse is via a short corridor, approximately 4 feet wide, with an ADA access push plate to trigger the automatic door opener for handicap access.





**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.1 Architectural Conditions Analysis**

**Additional Facilities – Portable Classroom**

There is a separate portable classroom located to the northwest of the school. It was not reviewed as part of this Study (currently unoccupied and only used for storage).



**RECOMMENDATIONS**

1. Nurses' station appears to be of insufficient size to accommodate more than a student or two. One patient station is currently occupied by a desk.
2. Eventually update aging interior finishes throughout the school.

## 5.0 Existing Facility Survey

Master Plan Facility Study for Westport Public Schools

### COLEYTOWN ELEMENTARY SCHOOL

#### 5.1.2 Exterior Facilities Conditions Analysis

**Summary Review** Generally, school grounds do not appear to have had any recent upgrades. The paved walkways and parking areas surrounding the school vary in age and condition. While these paved areas could use improvement, they do not currently pose a substantial risk to the operations of the school. There are several baseball and softball fields at the back of the school that are in average shape. There is also a paved basketball court, paved 'funnel ball' court, and other various paved play areas that are in poor condition. Lastly, there are two playground areas that appear to be fairly new compared to the remainder of the grounds.

**Areas of Need** The critical areas in need of improvement are the drop-off area in front of the school and the overall traffic circulation throughout the site. The internal intersections are encumbered by plantings and parked cars. Several trees are obstructing the sightlines for exiting cars onto Easton Road. Additionally, there is a difficult intersection angle for outgoing cars to see operations at the bus loop and a lack of proper signage. There are numerous areas around the school grounds that require accessibility improvements. When the school parking areas are repaved in the future, it should also be considered to remove and consolidate excess pavement, i.e., grouping parking lots together and decreasing pavement around the back side of the school. Emergency access around the perimeter of the school could be improved as well.

## COLEYTOWN ELEMENTARY SCHOOL

### 5.1.2 Exterior Facilities Conditions Analysis

COLEYTOWN ELEMENTARY SCHOOL				
65 EASTON ROAD		Grades: K-5		
Parking Spaces: +/- 110 with 6 Accessible				
<u>Priority Levels</u>	1 - High	2 - Moderate	3 - Low/Typical Maintenance	4 - Deferred
Item	Priority Level	Description		Materials
Circulation	1	Removal of plantings and parking spaces in area directly adjacent to main entrance		Removals, Grass
Circulation Accessibility	1	Trim trees at exit onto Easton Road to improve sight lines		Remove Trees
	1	Complete paved loop around school for fire access		Pavement
	2	Install additional site signage		Signage and Pavement Markings
	1	Remove and replace all ramps to meet Accessibility Code		Removals, Grass
Accessibility Parking Areas	3	Relocate (4) accessible spots from in front of access drive		Signage and Pavement Markings
	3	Consolidate parking areas		Pavement and Curbing
	1	Mill and overlay majority of parking areas and replace bit curbs		Pavement
Parking Areas Play Areas	1	Consolidate paved areas around building to be less hardscape		Removals, Grass
	2	Install additional drainage structures and rebuild base		Pavement and Stone Base
	2	Basketball court is in disrepair – evaluate amount of use		Remove
Play Areas Safety	3	Grass fields to receive routine maintenance		Grass Seed and Clay
	3	Remove and replace paved play for softer surface		Rubberized Pavement
	3	Improve access path from Coleytown Middle		Trim Vegetation
Safety	3	Add additional internal fencing/gates to limit courtyard access		Fencing
	4	Fencing encompassing back side of school		Maintain





EXISTING CONDITONS

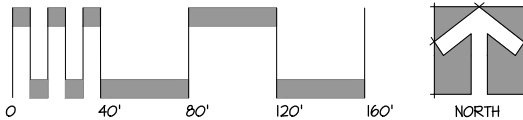
# COLEYTOWN ELEMENTARY SITE ASSESSMENT

65 EASTON ROAD  
WESTPORT, CONNECTICUT

AUGUST 31, 2019



**MILONE &  
MACBROOM**  
195 CHURCH STREET, 7TH FLOOR  
NEW HAVEN, CT 06510  
203.344.7887  
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**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.2 Exterior Facilities Conditions Analysis**

**SITE PHOTOS**

PHOTO #1:



Cracking along pavement. Future pavement repair 5+ years.

PHOTO #2:



Cracking along pavement. Future pavement repair 5+ years with re-stripping.



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.2 Exterior Facilities Conditions Analysis**

PHOTO #3:



Cracking along pavement and drainage improvements. Future pavement repair 2+ years with re-striping.  
Drainage improvements immediate.

PHOTO #4:



Limit pavement along back side of school.

**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.2 Exterior Facilities Conditions Analysis**

PHOTO #5:



Playscapes in working order. Potential for future improvements 5+ years.

PHOTO #6:



Improve internal sight lines exiting front parking lot. Immediate Need.



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.2 Exterior Facilities Conditions Analysis**

PHOTO #7:



Improve sight lines at exit onto Easton Road. Immediate need.


PHOTO #8




Improve playscape area. At discretion of town. No immediate concern but could be a simple update.




LEGEND AND DESCRIPTIONS




EXISTING PAVEMENT AREA IN NEED OF REPLACEMENT (NEEDED IN 1-2 YEARS)  
- REMOVE EXISTING PAVEMENT  
- INSTALL (2) 1.5" COURSES OF BITUMINOUS CONCRETE PAVEMENT  
- ±35,200 S.F.



EXISTING PAVEMENT AREA IN NEED OF REPLACEMENT (NEEDED IN 2-5 YEARS)  
- REMOVE EXISTING PAVEMENT  
- INSTALL (2) 1.5" COURSES OF BITUMINOUS CONCRETE PAVEMENT  
- ±13,600 S.F.

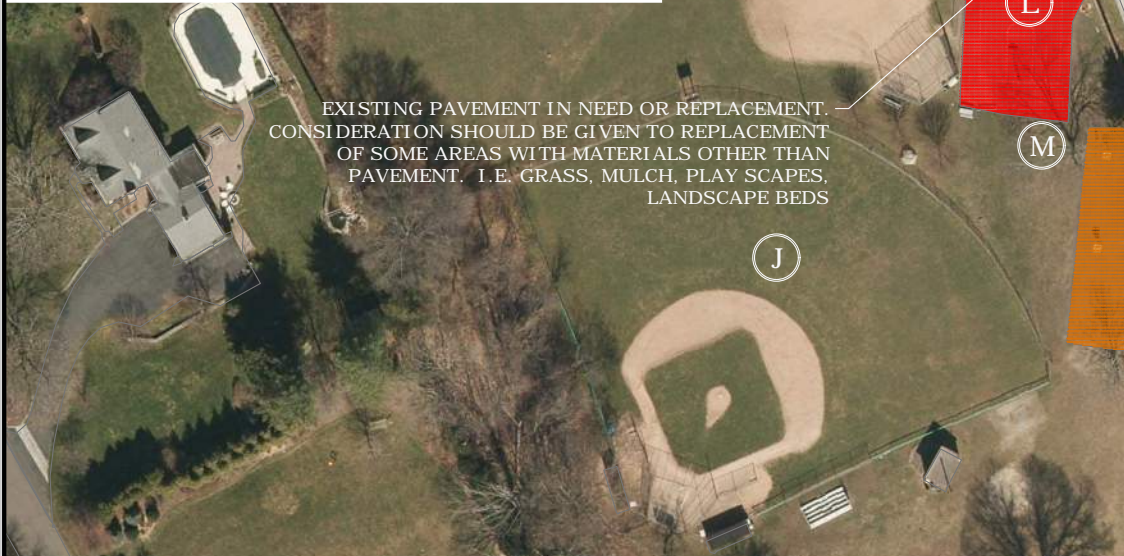


EXISTING PAVEMENT AREA IN NEED OF REPLACEMENT (NEEDED IN 5+ YEARS)  
- REMOVE EXISTING PAVEMENT  
- INSTALL (2) 1.5" COURSES OF BITUMINOUS CONCRETE PAVEMENT  
- MONITOR PAVEMENT MARKINGS FOR REPLACEMENT AS NEEDED  
- ± 58,900 S.F.



EXISTING EVERGREEN TREES TO BE REMOVED (NEEDED IN 2-3 YEARS)  
- REMOVE EXISTING OVER GROWN EVERGREEN TREES AND GRIND STUMPS  
- SEED DISTURBED AREAS TO LAWN  
- REPLANT TREES (10)

SUMMARY OF WORK	PRIORITY
A - REMOVE PLANTINGS AND PARKING SPACES TO IMPROVE VISIBILITY AT ENTRANCE FOR CARS AND PEDESTRIANS	1
B - TRIM TREES AT EXIT TO IMPROVE SITE LINES WHEN EXITING	1
C - REPLACE / UPGRADE ACCESSIBLE RAMPS TO MEET CURRENT CODES. (I.E. RUMPLE STRIPS AND RAMPS)	1
D - RELOCATE ACCESSIBLE PARKING SPACES TO ALLOW EMERGENCY VEHICLE ACCESS TO SOUTH SIDE OF SCHOOL. MAY BE COMPLETED IN CONJUNCTION WITH BULLET POINT 'A'.	1
E - IMPROVE PAVEMENT MARKINGS AND SITE SIGNAGE FOR CIRCULATION PATTERN IMPROVEMENTS.	2
F - RECONSTRUCT PARKING LOT, CURBING AND IMPROVE DRAINAGE	2
G - REPAVE PARKING LOTS, REPLACE CURBING AND IMPROVE DRAINAGE	2
H - EXISTING PAVEMENT IS DATED. ALTERNATIVE MATERIALS SHOULD BE REVIEWED UPON SCHEDULED REPLACEMENT. WIDTHS OF PAVEMENT AREAS ARE EXCESSIVE AND CAN BE CONSOLIDATED.	2
I - IMPROVE EMERGENCY ACCESS FROM COLEYTOWN MIDDLE SCHOOL.	3
J - CONTINUE ROUTINE MAINTENANCE OF FIELDS. EXISTING QUALITY OF FIELD SIMILAR TO MID-LEVEL LITTLE LEAGUE FIELDS AND PLAY AREAS.	4
K - FAIRLY NEW STRUCTURED PLAYSCAPES.	4
L - EXISTING BASKETBALL COURT IS DATED. RENOVATIONS ARE RECOMMENDED FOR PAVEMENT AND HOOPS.	2
M - ADD PAVED AREA TO COMPLETE EMERGENCY VEHICLE LOOP.	2
N - NEW SCHOOL SIGN	3



SITE ANALYSIS PLAN

COLEYTOWN ELEMENTARY  
SITE ASSESSMENT

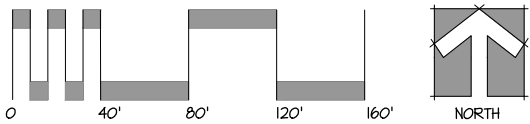
65 EASTON ROAD  
WESTPORT, CONNECTICUT

OCTOBER 4, 2019



**MILONE &  
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**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.3 Structural**

Michael Horton Associates, Inc. was retained by Antinozzi Associates to review the current structural conditions of the School. This report includes descriptions of the existing conditions, areas of concern, and recommendations for any remedial measures required.

**Structural**

The overall structure is in fair condition and appears to have been well Systems maintained. There are minor structural issues throughout with regard to cracks in concrete masonry unit (CMU) and brick masonry walls, spalling of wall finishes, and some areas where the ceiling tile is dropping/sagging in certain areas. There is some minor corrosion of exposed steel and lintels within the structure. Some of the issues observed are indicated below.

Building Envelope – Exterior Walls

The typical exterior walls consist of a brick veneer with either a masonry or stud back-up. The Gymnasium and Cafeteria consist of a multi-wythe brick supported on a cast-in-place concrete foundation wall.

Steel lintels are present above the typical window openings. Minor surface corrosion of the steel is occurring in some locations. Please refer to Photograph Exhibits CES-1, CES-2 and CES-3 as representative examples. These lintels should be stripped to bare metal where exposed and recoated with a galvanizing compound and painted approved by the Architect. The brick veneer should then be repaired accordingly.

**General**

Building Envelope – Exterior Walls

1997 Addition – West Side: there is a downspout disconnected.

1997 Addition – West Side: the fan coil unit is partially displaced from the face of the exterior wall, refer to Photograph CES-4. This condition can lead to water infiltration around the unit.

South 1974 Addition – East Side: at Door 14 there are cracks in the brick below the sill of the adjacent window, refer to Photograph Exhibit CES-5.

South 1974 Addition – East Side: at Door 12 there are cracks in the brick adjacent to the door, refer to Photograph CES-6.



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.3 Structural**

1974 Additions: Typical at perimeter roof steel, the continuous roof spandrel has a gap between the ends of the beams that is open to water infiltration. We could not determine how the wall is flashed behind the steel to prevent the water infiltration into the building, refer to Photograph Exhibit CES-7.

South 1974 Addition – East Side: Between Doors 12 and 13, the roof soffit is loose and not engaged with the break metal fascia, refer to Photograph Exhibit CES-8.

South 1974 Addition – West Side: Site Brick Masonry Wall, the mortar joints at the top of the wall are opening up. These joints will be subjected to water infiltration and detrimental effects of freeze-thaw action, refer to Photograph Exhibits CES-9 and CES-10.

Original Building: In the northwest corner, the brick veneer is cracking at the base of the wall adjacent to Door #44. Please refer to Photograph Exhibit CES-11.

North 1974 Addition: the brick veneer is cracking/spalling at the lower section of the wall adjacent to Door #53.

Cracking was observed in the upper portion of the brick site wall at the northeast corner of the school. Please refer to Photograph Exhibits CES-12 and CES-13.

North 1974 Addition: The corner of the cast-in-place concrete foundation wall is significantly cracked to the south of Door #53. Please refer to Photograph Exhibit CES-14. Continuing west into the alleyway to the next building corner, an additional crack was observed in the foundation wall. Please refer to Photograph Exhibit CES-15. The cracks should be repaired and sealed to prevent water infiltration and further damage to the concrete.

**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.3 Structural**

In the alley between the Original Building and the north 1974 Addition, the isolated exterior steel column located between Doors #56 and 57 is exposed to weather and is beginning to corrode. This column has also been hit by a vehicle and is deformed. Please refer to Photograph Exhibit CES-16. The roof structure should be shored and the column removed and repaired or replaced. Repairs should include restoring the column shape, as well as stripping to bare metal and applying an approved galvanizing coating.

Adjacent to the Kitchen service entrance at the Original Building, there are three openings thru the brick wall to the north. Please refer to Photograph Exhibit CES-17. The lintels are corroded and the brick joints have cracked at the lintel bearings. A crack in the brick was also observed extending to the adjacent electrical service box. Please refer to Photograph Exhibits CES-18 and CES-19.

**Building Envelope – Dumpster Enclosure**

The brick veneer of the exterior wall located behind the dumpster has been damaged from the dumpster being placed. Please refer to Photograph Exhibits CES-20 and CES-21.

**Building Interior – Classrooms**

Damaged or sagging as well as water staining of the ceiling tiles was observed in multiple classrooms.

Room 16, the ceiling tile is dropping at the high windows, refer to Photograph Exhibit CES-22. This may be due to the adhesive for the tile failing.

Room 16, there is a crack in the north wall, refer to Photograph Exhibit CES-23.

Room 23, the ceiling tile is dropping at the north wall, refer to Photograph Exhibit CES-24. This may be due to the adhesive for the tile failing.

Room 27, there appears to be water infiltration at the ceiling and the corner of the interior wall adjacent to the window. It could not be determined if the leak was active. The source of the water infiltration should be investigated.

**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.3 Structural**

Building Interior – Corridors

Corridor from the main building into Wing D, the windows on the north wall exhibit signs of water infiltration.

Building Interior – Cafeteria / Kitchen

Cracking of the brick was observed in the north wall of the Cafeteria. Please refer to Photograph Exhibit CES-25.

Water infiltration is evident at the window heads on the east wall. Please refer to Photograph Exhibits CES-26 and CES-27. Some of the wood decking planks have split in the northeast corner of the Cafeteria. Please refer to Photograph Exhibit CES-28.

Building Interior – Gymnasium

Cracking of the brick was observed in the exterior walls of the Gymnasium. Please refer to Photograph Exhibits CES-29 and CES-30.

At the support of the north roof beam, the plaster is spalling and there is a crack at the end of the beam at the intersection with the wall. Please refer to Photograph Exhibit CES-31.

West elevation, there is some deflection of the window lintels and surface corrosion of the lintels.

West elevation, there is a crack in the brick masonry below the lintel at the north jamb.

Building Interior – Nurses Office

Nurses Office, there is a spall in the plaster finish of the south wall, refer to Photograph Exhibit CES-32.

Building Interior – Janitor's Closet

The Janitor's Closet, there is some spalling of the ceiling plaster that could be due to water infiltration, refer to Photograph Exhibit CES-33.

**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.3 Structural**

Portable Classrooms

MHAI did not have access to the interior of the portable classrooms during this site visit. The portable classroom exterior siding and deck are in poor condition.

Some of the 2x decking boards on the platform and ramp are lifting creating a tripping hazard. Please refer to Photograph Exhibit CES-34.

The wood siding is deteriorated and pulled away from the structure. Please refer to Photograph Exhibit CES-35.

At the north stair of the portable classroom, the pickets of the stair railings have failed on both sides of the stair. Please refer to Photograph Exhibit CES-36.

RECOMMENDATIONS

1. Full masonry analysis to determine extent of mortar/masonry problems and appropriate remediation methods.
2. Full analysis of stage curtains, equipment, catwalks, lighting, etc. by a theater consultant to determine functionality, service life, etc.
3. Engage an appropriate service company to provide a full analysis of the operable partition system in the Gymnasium, including proper and safe operation, switch locations, and the condition of the panels, seals, motors, equipment, etc.
4. Determine the cause of the dropping ceilings at Rooms 16 and 23.
5. Repair spalling and cracking plaster finishes throughout with an appropriate material.
6. Determine cause of water leaks at the windows at the Corridor to Wing D.
7. Remove and replace the damaged wood decking and stairs at the Portable Classroom platform and ramp to eliminate the safety issues.
8. Remove and replace the deteriorated wood siding of the portable classrooms.
9. Repair the cracked stone window head at the front entry.
10. Repair or replace the displaced fan coil unit in Wing D.
11. Provide adequate paint system to lintels currently exhibiting surface corrosion.

**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.3 Structural**

- 12. Repair the cracked brick masonry at the Gymnasium window jamb at the north window of the west elevation.
- 13. Repair cracked brick masonry veneer at the 1974 Addition.
- 14. Investigate and determine the existing flashing and water barrier at the gaps in the existing spandrel roof beams in the 1974 Addition.
- 15. Repair or replace the loose roof soffit at the 1974 Addition.
- 16. Repair the existing brick masonry site wall on the west side of the 1974 Addition.



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-I through Exhibit CES-36**

**Exhibit CES-I**



**Exhibit CES-2**

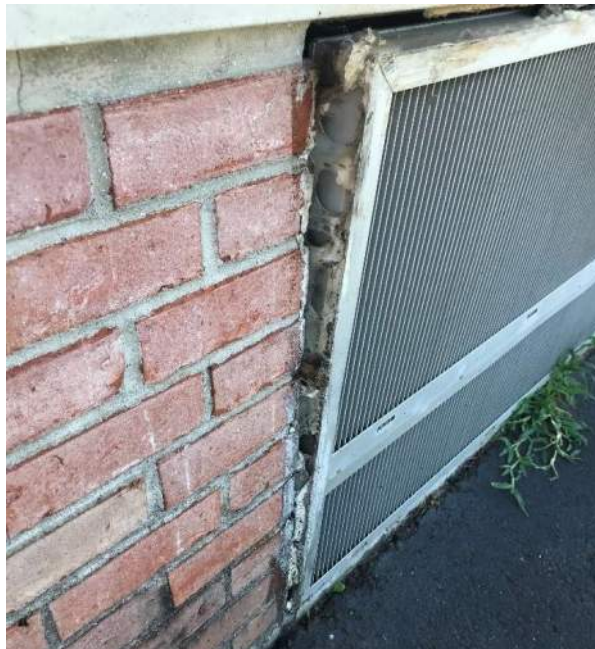


**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-3**



**Exhibit CES-4**



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.3 Structural**

**Exhibit CES-5**



**Exhibit CES-6**





**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-7**



**Exhibit CES-8**



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-9**



**Exhibit CES-10**





**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-11**



**Exhibit CES-12**



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-13**



**Exhibit CES-14**

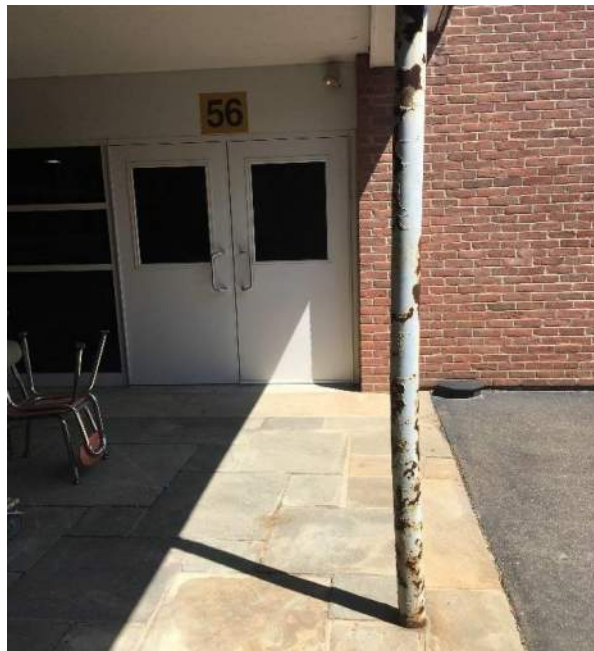


**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-15**



**Exhibit CES-16**





**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-17**



**Exhibit CES-18**



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-19**



**Exhibit CES-20**





**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-21**



**Exhibit CES-22**



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-23**



**Exhibit CES-24**



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-25**



**Exhibit CES-26**



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-27**



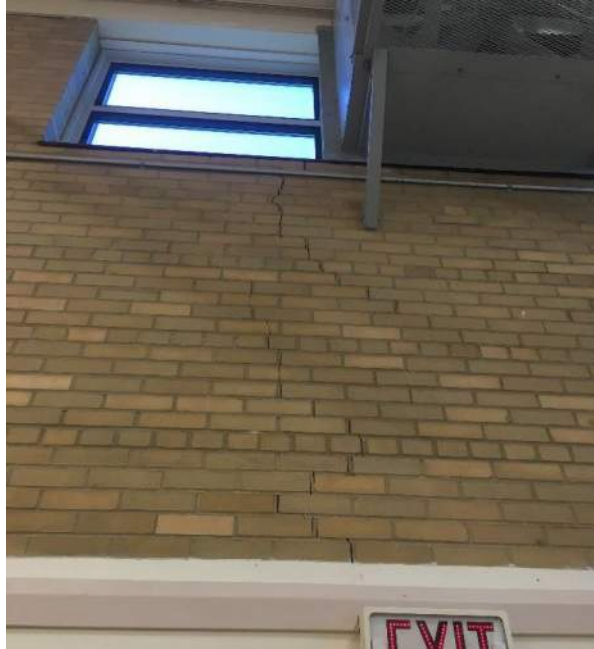
**Exhibit CES-28**



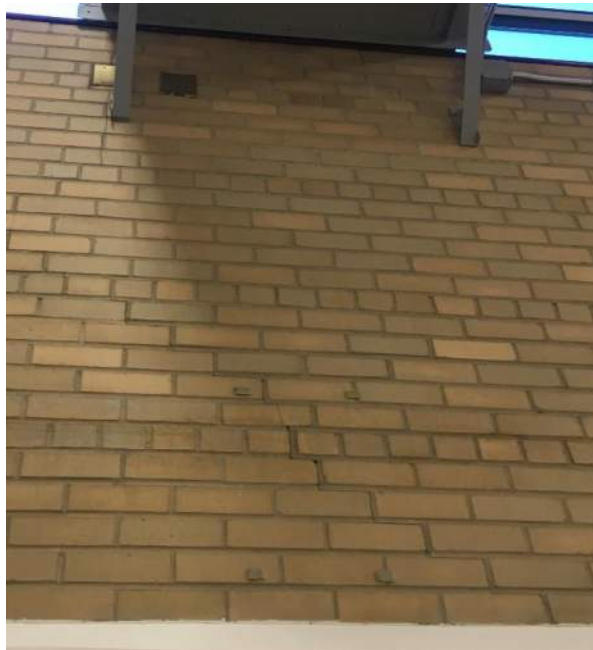


**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-29**



**Exhibit CES-30**



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.3 Structural**

**Exhibit CES-31**



**Exhibit CES-32**



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-33**



**Exhibit CES-34**



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
5.1.3 Structural

**Exhibit CES-35**



**Exhibit CES-36**





**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.4 Mechanical, Electrical, Plumbing and Fire Protection**

**Plumbing**

Plumbing Utilities

- I. Domestic Water:
  - a. Existing Domestic Water Service: The building is currently served by a 2" domestic water main fed from the Aquarion Water Company. The water service enters the building in the kitchen beneath a sink. It currently serves all of the school's domestic water needs.
2. Natural Gas:
  - a. Existing Natural Gas Service: The natural gas service (Southern Connecticut Gas) serves the boilers and water heater.
3. Propane Gas:
  - a. Existing Propane Gas: The kitchen equipment is served by two propane tanks located at the building exterior.
4. Sanitary Waste:
  - a. Existing Septic Tank: Sanitary waste from the building is routed to a septic tank on site.

Plumbing Fixtures and Specialties

- I. Plumbing fixtures:
  - a. The building is furnished with vitreous china water closets with a mix of manual flush and sensor activated flush valves. An upgrade to consider is the use of sensor activated flush valves on all water closets throughout the building.
  - b. Lavatories are primarily wall hung vitreous china with faucets which are manual, lever handle type. An upgrade to consider is the use of infrared activated faucets.
  - c. Urinals are primarily vitreous china with manual activated flush valves.
  - d. Drinking fountains and electric water coolers: Drinking fountains are vitreous china type and electric water coolers are stainless steel Elkay fixtures. Electric water coolers are plugged into an outlet directly below the fixture and utilized a "Bert" occupancy sensor outlet for energy saving measures.



## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

#### 5.1.4 Mechanical, Electrical, Plumbing and Fire Protection

2. Specialties:
  - a. There is a FS Curtis air compressor that is in fair condition. The Honeywell air dryer is in fair condition.
  - b. The pot sink in the kitchen is served by a local Zurn grease waste interceptor.
3. Specialty Pumping Systems: There are a number of sanitary pumps and storm water pumps serving the building.
  - a. (1) Simplex sump pump in the Boiler Room.
  - b. (1) Duplex Sewage Ejector Sump Pump outside the building.
  - c. (2) Duplex Storm Sump Pumps outside the building.



**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.4 Mechanical, Electrical, Plumbing and Fire Protection**

Domestic Hot Water Systems

- I. Domestic hot water is generated by an AO Smith BTR-120 gas fired water heater served by (2) Bell & Gossett recirculating pumps. A domestic hot water tempering valve was observed in poor condition. One recirculating pump was observed to be in excellent condition and one recirculating pump was observed to be in poor condition. The water heater is in excellent condition.



**Fire Protection**

Fire Protection Service

- I. Areas of the building are sprinklered but it is not sprinklered throughout. A 3" Fire protection service is located in the main mechanical room. Local 1" risers are located around the building to protect specific areas (limited area sprinkler system). There is a fire department connection at the rear exterior of the building.

**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.4 Mechanical, Electrical, Plumbing and Fire Protection**

**Mechanical**

**Boiler Plants**

- I. Main Boiler Plant: The building is heated by (2) dual fuel, steam boilers located in the primary boiler room. The fuel oil system within the main boiler room has since been abandoned with these boiler burners utilizing natural gas only. Both boilers are H.B. Smith Cast Iron 28A Series. The boilers were manufactured in 2006 and are served by Power Flame burners. The boilers and burners were observed to be in good condition.





## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.4 Mechanical, Electrical, Plumbing and Fire Protection

###### 2. Main Boiler Room Accessories:

- a. The boiler feed pumps are Grundfos and were observed to be in poor condition.
- b. There are two steam to hot water heat exchangers with Bell & Gossett circulating pumps located in the boiler room.
- c. One heat exchanger and pump (single pump) is in good condition.
- d. The second heat exchanger with duplex Bell & Gossett circulating pumps is in poor condition.



###### 3. Area C Mechanical Room:

- a. There is a Burnham Model KV89 hot water boiler in good condition with a circulating pump in excellent condition located in a remote mechanical room in Part C of the building. This boiler is served by fuel oil only.
- b. There is a separate fuel oil tank and fuel oil pump which serves this boiler room. The fuel oil pump serving this boiler was also observed to be in good condition.



**COLEYTOWN ELEMENTARY SCHOOL**

**5.1.4 Mechanical, Electrical, Plumbing and Fire Protection**

**Air Systems**

1. AHU-1 and RTU-1: The Gym is conditioned by a heating only Haakon AIRPAK air handling unit and a cooling only Trane TCH480 rooftop unit. Both were installed in 2016 and are in good condition.



2. RTU-2: The Cafeteria is conditioned by a cooling only Trane TSC120 rooftop unit. The unit was installed in 2016 and is in good condition.
3. RTU-3: The Office is conditioned by a cooling only Trane TSH060 rooftop unit with duct mounted hot water reheat coils. The unit was installed in 1998 and is in poor condition.
4. RTU-4: The Media Center is conditioned by a cooling only Trane TSH180 rooftop unit with duct mounted hot water reheat coils. The unit was installed in 1994 and is in poor condition.
5. Classrooms are served by a variety of Trane and McQuay unit ventilators; both PTAC, self-contained units and “split systems” with remote condensing units. The units are in varying conditions (poor to excellent condition)

**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.4 Mechanical, Electrical, Plumbing and Fire Protection**

**Electrical**

Existing Systems

1. The building is served by General Electric switchgear at the service entrance which is rated at 1600 amperes, 208Y/120V, 3-phase, 4 wire. This service equipment consists of a main disconnect switch, distribution section and metering per utility company requirements. The service equipment is in good condition.



2. There are a number of electrical power panels located throughout the building. They are of varying manufacturers; Siemens, GE, Eaton, Square D. The panels are in good condition.
3. Lighting at classrooms and offices is primarily LED fixtures as replaced as part of NORESKO's energy improvement programs. Overall, light fixtures are in good condition. There are still some fixtures will need to be updated and we recommend these be scheduled for replacement with LED fixtures
4. Many rooms are served by manual, line voltage toggle switches; there are a few occupancy/vacancy sensors.
5. Emergency lighting is handled by single and dual head battery backed emergency lighting fixtures. Lighting fixture battery packs were either integral to the fixture or located on the wall nearby the fixture. These fixtures are in fair condition.

## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

#### COLEYTOWN ELEMENTARY SCHOOL

##### 5.1.4 Mechanical, Electrical, Plumbing and Fire Protection

6. The fire alarm system is a Notifier zoned system and is in excellent condition.
7. The PA system is a Telecor TC-32 system. The head end and most of the end devices are in good condition.
8. The clock system is a Midwest Time Control Model MTC-200 and is in good condition.
9. Access control and Security System is a Sonitrol and is in excellent condition.
10. Exit signs are battery backed LED with models varying throughout the building. They were observed to be in good condition, however the Exitron signs in the gym appear to be dated.



**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.5 Technology**

**Drawing Exhibits** Floor plans notating the location and name of each technology closet are included in the appendix to this report. These plans were provided by Westport Public Schools. The nomenclature (MDF, IDF1, IDF2, etc.) for each space discussed in this survey is based on those plans.

**Findings** Coleytown Elementary School has (1) MDF and (4) IDF's.

Horizontal Cable

Horizontal cable is Category 6 rated plenum rated.

Backbone Cable

Backbone cabling includes 12 strand multi-mode and 6 strand single-mode. IDF4 is has a Category 6 rated copper backbone. All strands are terminated.

Power

There appears to be dedicated power in the following spaces:

MDF

IDF1

IDF2

IDF3

IDF5 appears to be powered via a branch circuit.

Grounding

All network switches, servers, racks, and cabinets should be grounded to grounding busbars to protect the equipment. It is recommended that a grounding busbar be installed in each space and that all of the equipment be properly grounded.

Environmental

The installation of a correctly sized cooling unit should be installed in all spaces to protect the equipment. There is currently no cooling in any of the spaces.

Other

Firestop all sleeves and penetrations in the MDF and IDFs.

**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.5 Technology**

Public Address & Clock

Public Address is a Telecor system located in the main office. Add PA speakers to Gymnasium & Kitchen. Clocks are on a Standard, manually set system. It is recommended to replace this system with a wireless clock system.

## 5.0 Existing Facility Survey

### Master Plan Facility Study for Westport Public Schools

## COLEYTOWN ELEMENTARY SCHOOL

### 5.1.6 Priority List

<b>Grades:</b> K-5	<b>Year Built:</b> 1953 <b>Addition #1:</b> 1974 (2 wings) <b>Addition #2:</b> 1994 <b>Addition #3:</b> 1997	<b>Priority Levels:</b> 1 – High 2 – Moderate 3 – Low 4 – Deferred
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NOTE: Items are primarily architectural and structural; also see other facility surveys.

<b>Cat. No.</b>	<b>Category</b>	<b>Priority</b>	<b>Description</b>	<b>WPS / Facilities Status</b>
	Exterior Walls	3 3 2 3 3 2 2	A. Rust: <ul style="list-style-type: none"> <li>○ at the grille vents near Doors #3 &amp; #7</li> <li>○ at the handrails at Doors #3 &amp; #7</li> <li>○ lintels of multiple windows</li> <li>○ several gutters</li> </ul> B. Rotting wood trim at multiple doors C. Damaged gutters and oversized lead-coated-copper leaders to be replaced (crushed by ice per WPS Facilities). D. Moss and mildew staining on exterior brick masonry veneer and precast window sills in multiple locations around the perimeter of the school, such as at downspouts, downspout nozzles, and on most of the low brick walls.	
2	Roofs & Chimneys (incl. skylights)	3 3	A. Free flowing overflow scupper near Door #24. Verify for clogging or if scupper is placed too low relative to roof level. B. Gap between structural steel fascia segments around 1974 Additions. Provide water-tight condition – verify in field.	
3	Flooring	4	A. Cracks spanning the width of the corridor in main corridor of original school (concrete slab on grade)	
4	Walls	4	A. Lockers are older with many scratches and dings that need touched up	

**5.0 Existing Facility Survey**  
Master Plan Facility Study for Westport Public Schools  
**COLEYTOWN ELEMENTARY SCHOOL**  
**5.1.6 Priority List**

<b>Cat. No.</b>	<b>Category</b>	<b>Priority</b>	<b>Description</b>	<b>WPS / Facilities Status</b>
5	Ceilings	1 4 2 1	A. Major ceiling water damage in Janitor's Closet (possibly from building expansion joint leak or flashing at roof per WPS Facilities) B. Sagging 24"x48" ACT in classrooms (ongoing replacement) C. Sagging 12"x12" z-spline ceiling (per WPS Facilities, tiles adhered to sheetrock; fastening of sheetrock is failing) D. Relocate roof drain pipe that runs over Transformer Vault equipment adjacent to Room 17.	
6	Kitchen	4	A. Rebuild serving line – new laminate and lighting.	
7	Security	1	A. See the Appendix entitled Security Surveys.	
8	Other	4	A. Nurse's station seems cramped and not large enough to accommodate more than a student or two. One patient station has a desk set up in it. Per WPS Facilities, school is very happy with it; not priority.	



## **Appendix C – Fee Proposal Form**

**Westport Public Schools  
Coleytown Elementary School Renovation Analysis  
Appendix C - Fee Proposal Form**

<b>ITEM #</b>	<b>Scope Description</b>	<b>Amount</b>
A.	Phase 1 - Preliminary Assessment	\$ <u>                    -</u>
B.	Comprehensive Renovation Assessment	\$ <u>                    -</u>
		<b>TOTAL FEE: \$ <u>                    -</u></b>

Acknowledge all addenda and Fee above

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Signature by Authorized Officer of Proposing Firm

Note: Discrepancies between the total sum of all items and the Total Fee at the bottom shall be the lower of the two values.