

# WESTPORT PUBLIC SCHOOLS

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**Elio Longo, Jr.**  
*Chief Financial Officer*

## **ADDENDUM NO. 4 – May 6, 2021**

### **REQUEST for QUALIFICATIONS/PROPOSAL for ARCHITECTURAL SERVICES STAPLES HIGH SCHOOL ROOF REPLACEMENT PROJECT BID #21-010-RFP**

#### **ITEM NO. 1: Bidder Question:**

- Characterize as much as you can the completeness, number, quantity, and dates of the existing:
  - Structural drawings
  - Plumbing drawings
  - Site drawings to the first storm structures
- Verify that we are to do future PV raceway penetrations only and not a structural analysis of roof capacities to support PV.

**Answer:** Multiple sets of documentation have been located with varying degrees of information that will be made available to the selected architect for the project. Attached is a marked-up version of the roof legend contained in Exhibit D of the RFP that delineates areas where structural information was found. Areas where information was not found may still be available in the district archives but shall be assumed as not available. All proposers shall include the appropriate field time to verify existing structural conditions in these areas.




Below is a list of documents found to contain information that will assist in evaluating the existing conditions. These will be made available to the architect once they are under contract.


- 1996 Re-Roofing Project Plans prepared by Fletcher Thompson
- 2003 Partial Roof Framing Plans prepared by Fuller & D'Angelo (only select areas in addition to the 2003 Addition)
- 2003 Mechanical and Plumbing Drawings are available
- 1978 Documents prepared by Russell Gibson vonDohlen (partial set of structural roof framing plan)

The proposed project shall incorporate up to four locations for roof penetrations to accommodate future photovoltaic panels. The architect is not responsible for assessing if the existing roofs are capable of supporting such loads as they are not part of this project.

With respect to the site drawings showing leaders to the first storm structures, such plans have not been located at this time. As such, the architect shall assume all existing leaders provide sufficient capacity. Should the architect propose new roof drains for the project, the architect will be responsible for field verifying the routing of new leaders through the building and for avoiding conflicts.



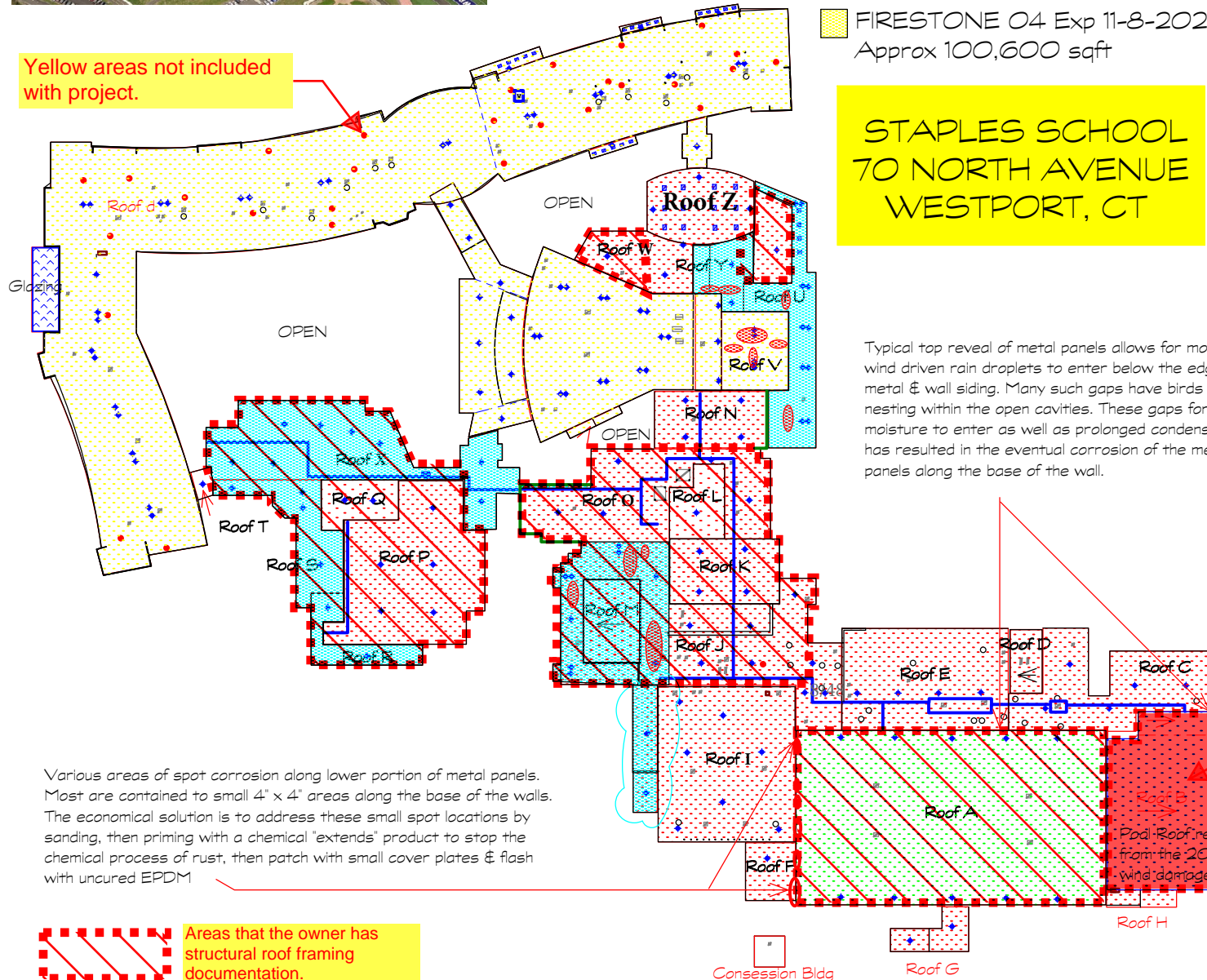
-  CARLISLE CMD629N - 97 Expires 9-19-2013  
Approx 117,581 sqft
-  CARLISLE CMD1003827 - 06 Expires 8-31-2026  
Approx 15,600 sqft
-  CARLISLE AB#596N-98 - 98 Expires 9-22-2008  
Approx 36,560 sqft

 FIRESTONE 04 Exp 11-8-2024  
Approx 100,600 sqft

## STAPLES SCHOOL 70 NORTH AVENUE WESTPORT, CT

Typical top reveal of metal panels allows for moist wind driven rain droplets to enter below the edge metal & wall siding. Many such gaps have birds nesting within the open cavities. These gaps for moisture to enter as well as prolonged condensation has resulted in the eventual corrosion of the metal panels along the base of the wall.

Yellow areas not included with project.







Various areas of spot corrosion along lower portion of metal panels. Most are contained to small 4" x 4" areas along the base of the walls. The economical solution is to address these small spot locations by sanding, then priming with a chemical "extends" product to stop the chemical process of rust, then patch with small cover plates & flash with uncured EPDM

Areas that the owner has structural roof framing documentation.





## Legend

--- Control Joint    --- Expansion Joint




### Roof Top Units

-  Roof Hatch
-  Skylight
-  Unit on Sleepers
-  Unit on Curb







### Projections

-  Plumbing Stack
-  Hot Stack
-  Pitch Pan
-  Metal Sleeve Stack

### Drainage

-  Drain (Existing)
-  Scupper
-  Drain (New)


### Miscellaneous

-  Gas Line
-  Crickets
-  Walkway
-  Roof Level Change
-  Paver Walkway
-  Core Test

### Problem Indicators

-  Blister
-  Vegetation
-  Ponding
-  Flashing Problem / Roof Defect

\* Note: -U indicates an unused item

 \* Note: - indicates an area where the ISO insulation is warped from previous water infiltration

This area not included in project

Project  
Staples School, Westport

Customer  
Town of Westport

DWG. By  
Joseph K'iss

Date  
5-13-20

Scale  
N.T.S.