

Saugatuck Elementary School

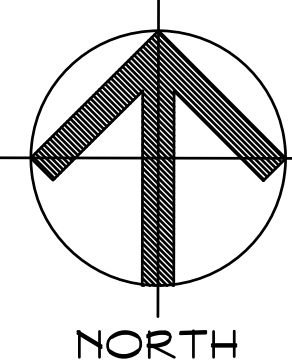
Partial Roof Replacement

170 Riverside Avenue
Westport, Connecticut 06880



SITE LOCATION MAP

SCALE: NONE



DRAWING LIST:

	Cover Sheet
C1	Code Information Legend
A1	Roof Plan Part #1
A2	Roof Plan Part #2
A3	Roof Details
HBM-01	Hazardous Building Materials Abatement Plan - Roof #1
HBM-02	Hazardous Building Materials Abatement Plan - Roof #2



SILVER / PETRUCELLI + ASSOCIATES

Architects / Engineers / Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340

One Post Hill Place, New London, CT 06320

Tel. 203 230 9007 Fax. 203 230 8247

silverpetrucelli.com

Issued for Bid: May 6, 2021

CODE INFORMATION

DATE OF ORIGINAL CONSTRUCTION

1937

DATE OF ADDITION

1. GROUP CLASSIFICATION (Chapter 3)

(Primary)

E-EDUCATIONAL

(Incidental)

A3-ASSEMBLY

2. CONSTRUCTION TYPE (Chapter 6)

Minimum Type Required

2B

Actual Type Provided (existing)

(new)

2B

3. BUILDING HEIGHT (Chapter 5)

Allowable Height (story/feet)

3/75'-0"

Actual Height (story/feet)

1/30'-0"

(Stories Above Grade)

2

4. BUILDING AREA (Chapter 5)

a) Building Area (first)

Existing construction

N/A

sq.ft.

New construction

O

sq.ft.

Total floor

N/A

sq.ft.

b) Building Area (second)

Existing construction

O

sq.ft.

New construction

N/A

sq.ft.

Total floor

N/A

sq.ft.

TOTAL (ALL FLOORS)

N/A

sq.ft.

5. AREA MODIFICATIONS TO TABLE 503 (for each separate building as defined by fire walls and/or exterior walls)

N/A

6. CASE 1 – SINGLE OCCUPANCY OR NONSEPARATED USES (302.3.1)

(Allowable Area 506.4)

N/A

7. CASE 2 – MIXED OCCUPANCY SEPARATED USES (302.3.2)

(Allowable Area 506.4)

N/A

8. FIRE-RESISTANCE RATED REQUIREMENTS FOR BUILDING ELEMENTS

(Table 601, See Code Plans for specific designations)

1 Structural frame: including columns, girders, trusses

O

Hr(s)

2 Bearing walls: Exterior (Table 602)

O/1

Hr(s)

Interior

O

Hr(s)

3 Nonbearing walls & partitions Exterior (Table 602)

O/1

Hr(s)

4 Nonbearing walls & partitions Interior

O

Hr(s)

5 Floor Construction (including supporting beams & joists)

O

Hr(s)

6 Roof Construction (including supporting beams & joists)

O

Hr(s)

9. OCCUPANCY LOAD

Design Total for Basement

NA

Total Exit Capacity for Basement

NA

Design Total for First Floor

NA

Total Exit Capacity for First Floor

NA

Design Total for Building

NA

Total Exit Capacity for Building

NA

10. MODIFICATIONS

Approved

Not Approved

Approved

Not Approved

Approved

Not Approved

11. ACCESSIBLE BUILDING

X

Designated

Non Designated

12. MINIMUM PLUMBING FIXTURE COUNT (I.P.C. Chapter 4)

For each type of occupancy per entire facility

Group "A3" occupancy (Design Load = NA)

Required

Provided

W/C Male

NA

NA

W/C Female

NA

NA

Lavs

NA

NA

D/F

NA

NA

W/C Unisex

NA

NA

Lavs Unisex

NA

NA

Group "E" occupancy, (Design Load = NA)

W/C

NA

NA

Lavs

NA

NA

D/F

NA

NA

(Total Design Load for entire facility = NA)

13. ENTIRE BUILDINGS SPRINKLERED

Yes

No

X

14. THRESHOLD BUILDING CONDITIONS

Yes

No

X

15. CODES TO WHICH THIS PROJECT WAS DESIGNED

State Building Code

2012 IBC/2016 CT AMENDMENTS

State Mechanical Code

2012 ICC/2016 CT AMENDMENTS

State Plumbing Code

2012 ICC/2016 CT AMENDMENTS

State Energy Conservation Code

2012 ICC/2016 CT AMENDMENTS

State Electrical Code

2014 NFPA 70/2016 CT AMEND.

State Health Code

MOST CURRENT

OSHA

MOST CURRENT

Section 504

CURRENT

ADA

2010

ANSI 117.1

2009

16. BUILDING AREAS FOR GRANT CALCULATION (ENTIRE FACILITY)

(measured to inside face of exterior walls)

Existing unrenovated construction

O

sq.ft.

Existing renovated construction

O

sq.ft.

Existing being demolished

O

sq.ft.

Total existing construction

N/A

sq.ft.

Total new construction

O

sq.ft.

Total facility

N/A

sq.ft.

Open Areas (not included in total facility)

NA

NA

sq.ft.

17. TOTAL CONSTRUCTED BUILDING AREA (outside face of exterior walls including open areas above)

NA

sq.ft.

FIRE SAFETY CODE DATA:

1. CLASSIFICATION OF OCCUPANCY

EDUCATIONAL/ASSEMBLY

2. MINIMUM CONSTRUCTION REQUIRED

5B

ACTUAL CONSTRUCTION PROVIDED

5B

3. NOTIFICATION / ALARMS (CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)

YES

X

NO

4. DETECTION (CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002)

YES

X

NO

5. EXTINGUISHMENT REQUIREMENTS (NFPA 13, 2002)

YES

X

NO

MEANS OF EGRESS

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT IBC TABLE 1004.1.2

USE

FLOOR AREA IN S.F. PER OCCUPANT

1. CLASSROOMS

20 S.F. NET

2. SHOPS & VOCATIONAL

50 S.F. NET

3. ASSEMBLY WITHOUT FIXED SEATS

7 S.F. NET

TABLES AND CHAIRS

15 S.F. NET

4. PLATFORMS

15 S.F. NET

5. LIBRARY

READING ROOMS

50 S.F. NET

STACK AREA

100 S.F. GROSS

6. LOCKER ROOMS

50 S.F. GROSS

7. MECHANICAL AREAS

300 S.F. GROSS

8. STORAGE

300 S.F. GROSS

9. BUSINESS AREAS

100 S.F. GROSS

10. Courtyards

15 S.F. NET

MAXIMUM LENGTH OF EXIT TRAVEL

1. I.B.C. TABLE 1015.1

250 FEET

SYMBOL LEGEND

X

XX

SLOPE

SL

S

S

TAPERED INSULATION CRICKET SLOPED @ 1/4" / FT.

V

V

CONTRACTOR TO VERIFY DIMENSION IN FIELD.

X

X

INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.

H

P

INDICATES HIGH POINT OF INSULATION.

ERD

EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.

NRD

ROOF DRAIN & SUMP TO BE INSTALLED. SEE DETAIL A/A3.

R.L

HORIZONTAL ROOF DRAIN LEADER. SEE CONSTRUCTION NOTE #5.

S.C

EMERGENCY OVERFLOW SCUPPER. SEE DETAIL M & Q/A3.

C.B

METAL COLLECTION BOX. SEE DETAIL R/A3.

D.S

METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #3.

V.S

EXIST. VENT STACK. SEE DETAIL B/A3.

P.P

PITCH POCKET DETAIL. SEE DETAIL D/A3.

F.U

EXIST. ROOF TOP FAN UNIT. SEE DETAIL C/A3.

M.U

EXIST. MECHANICAL UNIT. SEE DETAIL U/A3.

R.T.U

EXIST. ROOF TOP MECH. UNIT. SEE DETAIL E/A3.

WALKWAY PADS. SEE CONSTRUCTION NOTE #2.

S.L

SKYLIGHT. SEE DETAIL J/A3.

M.L

METAL LADDER. SEE DETAIL N/A3.

E.C

EXIST. CHIMNEY. SEE DETAIL H/A3.

E.J

EXPANSION JOINT. SEE DETAIL T/A3.

L.R

EXIST. LADDER TO REMAIN.

R.H

ROOF HATCH. SEE DETAIL F/A3.

E.R

EXIST. ROOF HATCH TO REMAIN.

DEMOLITION NOTES (X)→

- REMOVE ALL EXISTING EPDM ROOFING & INSULATION.
- REMOVE ALL INDICATED EXISTING WOOD BLOCKING.
- REMOVE ALL INDICATED EXISTING METAL FLASHING.
- REMOVE EXISTING SKYLIGHTS.
- REMOVE EXISTING ROOF DRAINS & SUMP.

GENERAL NOTES

- ALL FLAT ROOFS TO RECEIVE 1/4" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
- FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
- ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED 'EXISTING'.
- ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED. (P.T.)
- ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
- ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8". (VERTICAL OR HORIZONTAL)
- CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
- CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO INSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PERCED OR DAMAGED.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
- SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED. W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEEDED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER.
- SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
- ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/4" PER FOOT & COORDINATE CRICKETS AROUND EXIST. HVAC UNITS AS REQUIRED TO AVOID PONDING.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.
- SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
- ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
- NEW ROOF INSULATION TO BE A MINIMUM OF 4" AT ALL NEW ROOF DRAINS & LOW POINTS OF THE ROOF AREAS
- ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

ROOF AREAS

ROOF 'A' 13,856 SF.	ROOF 'H' 11,052 SF.
ROOF 'B' 98 SF.	ROOF 'J' 5,201 SF.
ROOF 'C' 8,491 SF.	ROOF 'K' 4,098 SF.
ROOF 'D' 510 SF.	ROOF 'L' 1,293 SF.
ROOF 'E' 10,464 SF.	ROOF 'M' 1,839 SF.
ROOF 'F' 535 SF.	ROOF 'N' 5,103 SF.
ROOF 'G' 1,694 SF.	ROOF 'P' 586 SF.

TOTAL FLAT ROOFS: 64,817 SF.

THIS AREA IS APPROXIMATE- V.I.F.

ENERGY CONSERVATION

IECC CODE REQUIREMENT R-VALUE TOTAL CONNECTICUT ZONE 5A

CBSC REQUIREMENT: R-30 = U 0.333

CODE INFORMATION

USE GROUP : E

CONSTRUCTION CLASS: 2B

BASIC WIND SPEED: 110 MPH

RISK CATEGORY #3: 134 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY

CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION WIND UPLIFT REQUIREMENT OF

1-60 FOR FIELD, 1-90 FOR PERIMETER AND 1-120 FOR CORNERS, IN ACCORDANCE WITH FM

PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

ROOF ASSEMBLY

OUTSIDE AIR	0.17
EPDM	0.33
COVER BOARD	2.20
5" POLYISO INSUL.	29.5
EXISTING DECK	1.23
INSIDE AIR	0.61

R TOTAL: 34.22

ROOF AREAS IN SCOPE OF WORK

ROOF AREAS NOT IN SCOPE OF WRRK

Project Title:

Saugatuck Elementary School

Partial Roof Replacement

170 Riverside Avenue
Westport, CT 06880

SILVER / PETRUCCELLI + ASSOCIATES

Architects/ Engineers/ Interior Designers

3190 Whitney Avenue, Hamden, CT 06518-2340

One Post Hill Place, New London, CT 06320

Tel. 203 230 9007 Fax. 203 230 8247

silverpetruccielli.com

Revision:

Description:

Date:

Revised By:

Drawing Title:

Code Information Legend

Date:

05/06/2021

Scale:

NONE

Drawn By:

K. LINSLEY

Project Number:

21062

Drawing Number:

C1

ROOF AREAS

ROOF 'A' 13,856 SF	ROOF 'H' 11,052 SF
ROOF 'B' 98 SF	ROOF 'J' 5,201 SF
ROOF 'C' 8,491 SF	ROOF 'K' 4,095 SF
ROOF 'D' 510 SF	ROOF 'L' 1,293 SF
ROOF 'E' 10,464 SF	ROOF 'M' 1,839 SF
ROOF 'F' 535 SF	ROOF 'N' 5,103 SF
ROOF 'G' 1,694 SF	ROOF 'P' 586 SF

TOTAL FLAT ROOFS: 64,817 SF
THIS AREA IS APPROXIMATE - V.I.F.

ENERGY CONSERVATION

IECC CODE REQUIREMENT R-VALUE TOTAL
CONNECTICUT ZONE 5A
CBCS REQUIREMENT: R-30 = U .0333

CODE INFORMATION

USE GROUP : E
CONSTRUCTION CLASS: 2B
BASIC WIND SPEED: 110 MPH
RISK CATEGORY #3: 134 MPH
FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY
CLASSIFICATION OF NON-COMBUSTIBLE
CONSTRUCTION, WIND UPLIFT REQUIREMENT OF
140 FOR FIELD, 190 FOR PERIMETER AND 1120
FOR CORNERS, IN ACCORDANCE WITH FM
PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

ROOF ASSEMBLY

OUTSIDE AIR	0.17
EPDM	0.33
COVER BOARD	2.20
5" POLYISO INSUL.	29.5
EXISTING DECK	1.23
INSIDE AIR	0.61

R TOTAL: 34.22

SYMBOL LEGEND

- (X/XX) - PLAN, SECTION, DETAIL OR ELEVATION NUMBER - SHEET NUMBER.
- EXISTING OUTLINE OF BUILDING.
- SLOPE - INDICATES SLOPE DIRECTION OF TAPERED INSULATION AT 1/4" FT. MIN.
- TAPERED INSULATION CRICKET SLOPED @ 1/4" FT.
- V.I.F. - CONTRACTOR TO VERIFY DIMENSION IN FIELD.
- INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
- H.P. - INDICATES HIGH POINT OF INSULATION.
- ERD. - EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
- NRD. - ROOF DRAIN & SUMP TO BE INSTALLED. SEE DETAIL A/A3.
- R.L. - HORIZONTAL ROOF DRAIN LEADER. SEE CONSTRUCTION NOTE #5.
- S.C. - EMERGENCY OVERFLOW SCUPPER. SEE DETAIL M & Q/A3.
- C.B. - METAL COLLECTION BOX. SEE DETAIL R/A3.
- D.S. - METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #3.
- V.S. - EXIST. VENT STACK. SEE DETAIL B/A3.
- P.P. - PITCH POCKET DETAIL. SEE DETAIL D/A3.
- F.U. - EXIST. ROOF TOP FAN UNIT. SEE DETAIL C/A3.
- M.U. - EXIST. MECHANICAL UNIT. SEE DETAIL U/A3.
- R.T.U. - EXIST. ROOF TOP MECH. UNIT. SEE DETAIL E/A3.
- WALKWAY PADS. SEE CONSTRUCTION NOTE #2.
- S.L. - SKYLIGHT. SEE DETAIL J/A3.
- M.L. - METAL LADDER. SEE DETAIL N/A3.
- E.C. - EXIST. CHIMNEY. SEE DETAIL H/A3.
- E.U. - EXPANSION JOINT. SEE DETAIL T/A3.
- L.R. - EXIST. LADDER TO REMAIN.
- R.H. - ROOF HATCH. SEE DETAIL F/A3.
- E.R. - EXIST. ROOF HATCH TO REMAIN.

GENERAL NOTES

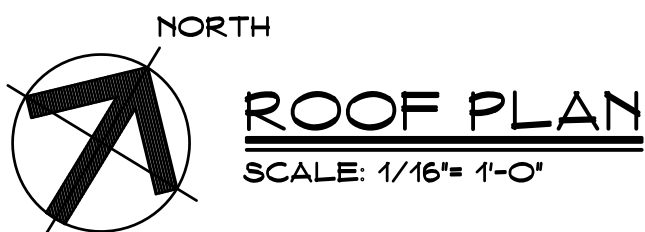
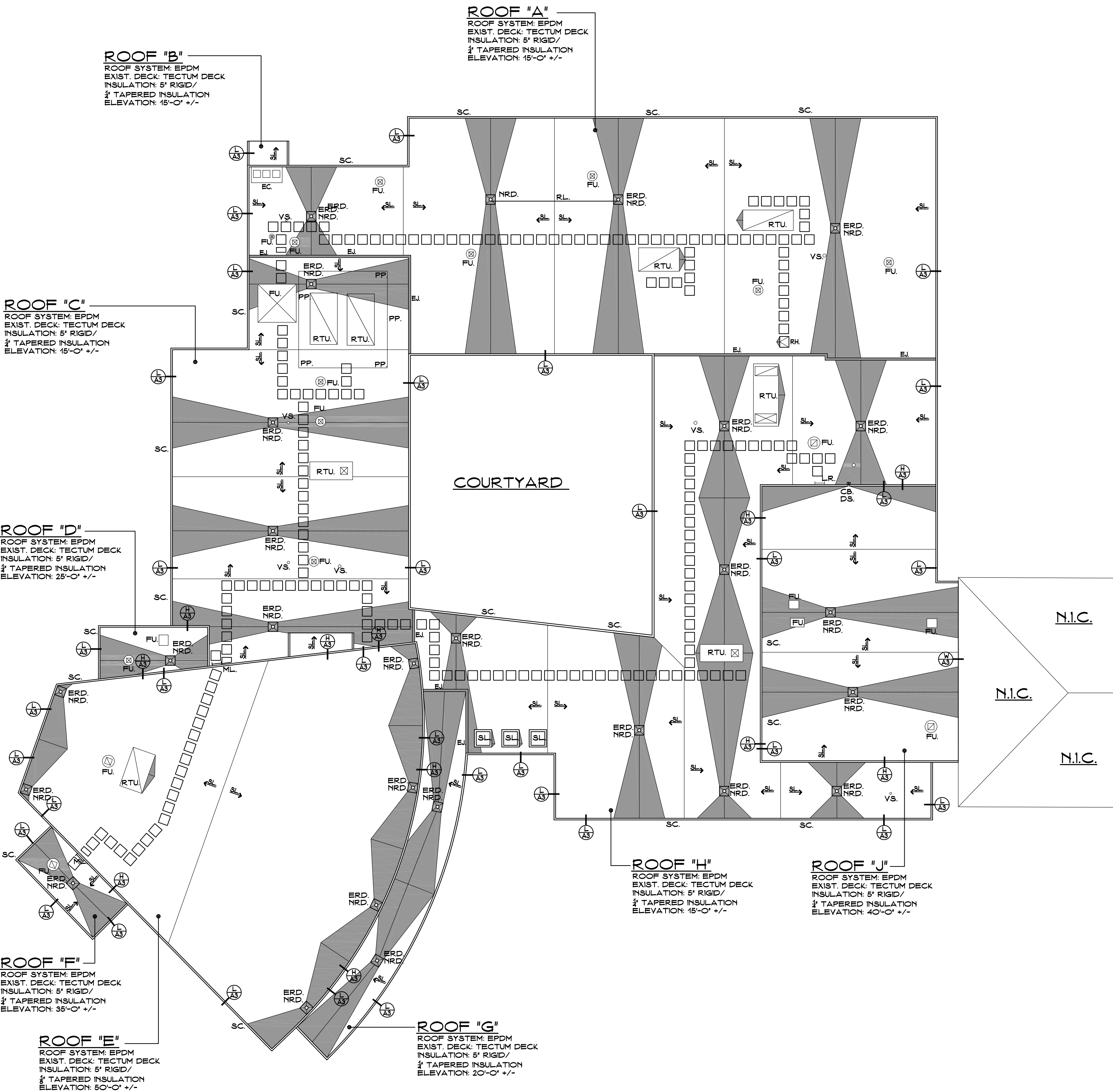
- ALL FLAT ROOFS TO RECEIVE 1/4" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
- FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
- ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED 'EXISTING'.
- ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED (P.T.)
- ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
- ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8" (VERTICAL OR HORIZONTAL).
- CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
- CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO INSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
- SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED, W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEEDED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER.
- SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
- ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/4" PER FOOT & COORDINATE CRICKETS AROUND EXIST. HVAC UNITS AS REQUIRED TO AVOID PONDING.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.
- SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
- ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
- NEW ROOF INSULATION TO BE A MINIMUM OF 4" AT ALL NEW ROOF DRAINS & LOW POINTS OF THE ROOF AREAS.
- ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

DEMOLITION NOTES (X) ->

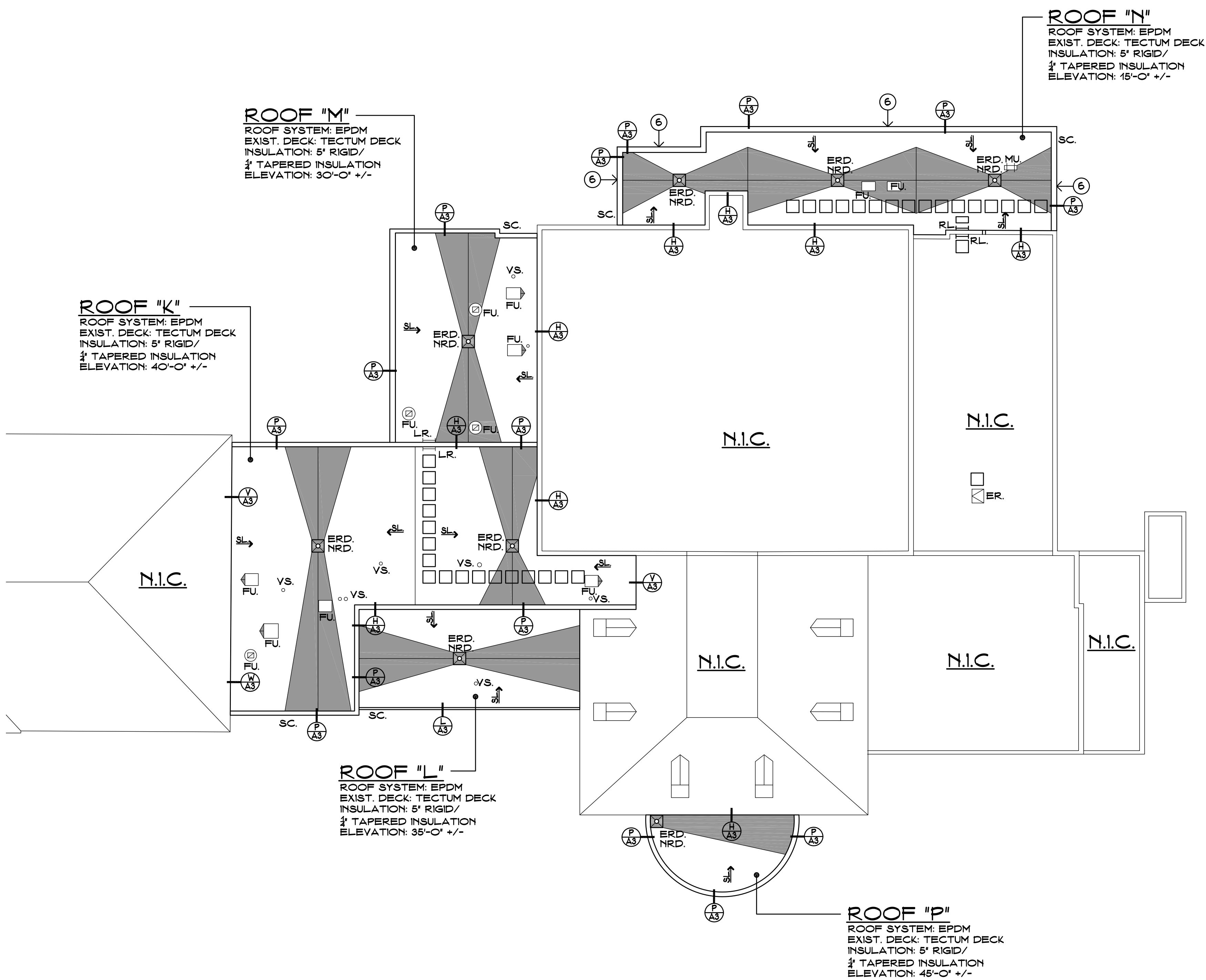
- REMOVE ALL EXISTING EPDM ROOFING & INSULATION.
- REMOVE ALL INDICATED EXISTING WOOD BLOCKING.
- REMOVE ALL INDICATED EXISTING METAL FLASHING.
- REMOVE EXISTING SKYLIGHTS.
- REMOVE EXISTING ROOF DRAINS & SUMP.

CONSTRUCTION NOTES (X) ->

- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF TECTUM DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- WALKWAY PADS TO BE INSTALLED. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- INSTALL NEW METAL DOWNSPOUTS @ ALL INDICATED SCUPPER LOCATIONS. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- INSTALL NEW CONCRETE SPLASHBLOCKS @ ALL INDICATED METAL DOWNSPOUT LOCATIONS. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- HORIZONTAL ROOF LEADER (MATCH DIAMETER OF EXIST.) ABOVE CEILING SLOPED @ 1/8" FT. MIN. TIE VERTICAL LEADERS INTO EXIST. PIPING AS REQD. SEAL ALL PENETRATIONS THROUGH WALLS W/FIRE PUTTY AS REQD. BY CODE. PATCH & REPAIR ALL AREAS DAMAGED BY INSTALLATION OF NEW PIPING.
- EXISTING CHAIN LINK FENCE TO BE REMOVED & REINSTALLED TO ACCOMMODATE ROOFING OPERATIONS.



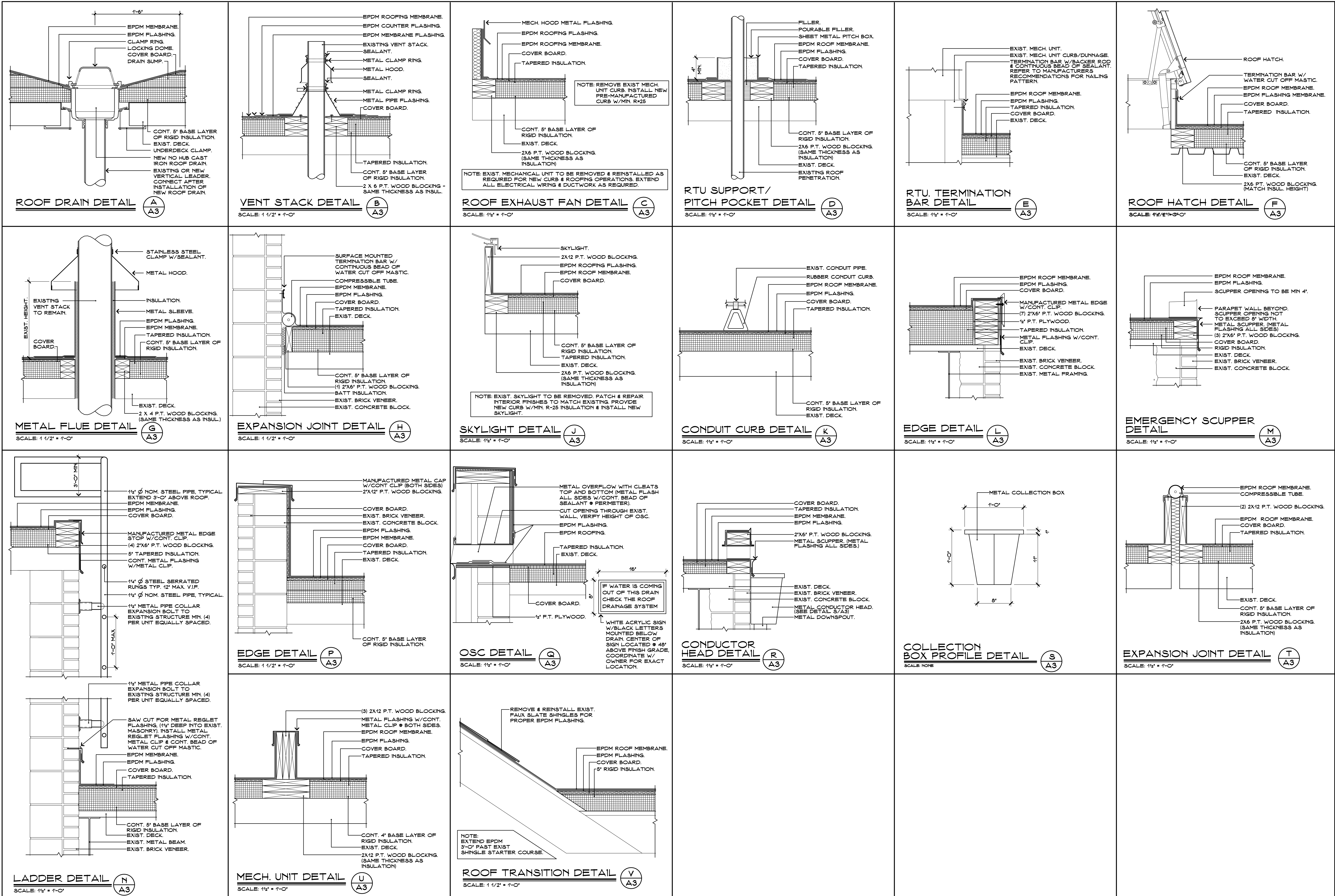
ROOF AREAS ROOF "A" 13,856 SF ROOF "B" 98 SF ROOF "C" 8,491 SF ROOF "D" 510 SF ROOF "E" 10,464 SF ROOF "F" 535 SF ROOF "G" 1,694 SF ROOF "H" 11,052 SF ROOF "J" 5,201 SF ROOF "K" 4,095 SF ROOF "L" 1,293 SF ROOF "M" 1,839 SF ROOF "N" 5,103 SF ROOF "P" 586 SF TOTAL FLAT ROOFS: 64,817 SF THIS AREA IS APPROXIMATE - V.I.F. ENERGY CONSERVATION IECC CODE REQUIREMENT R-VALUE TOTAL CONNECTICUT ZONE 5A CBSC REQUIREMENT: R-30 = U .0333 CODE INFORMATION USE GROUP : E CONSTRUCTION CLASS: 2B BASIC WIND SPEED: 110 MPH RISK CATEGORY #3: 134 MPH FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM): ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION, WIND UPLIFT REQUIREMENT OF 140 FOR FIELD, 190 FOR PERIMETER AND 1120 FOR CORNERS, IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-20.	ROOF ASSEMBLY OUTSIDE AIR 0.17 EPDM 0.33 COVER BOARD 2.20 5" POLYISO INSUL. 29.5 EXISTING DECK 1.23 INSIDE AIR 0.61 R TOTAL: 34.22
SYMBOL LEGEND - PLAN, SECTION, DETAIL OR ELEVATION NUMBER - SHEET NUMBER. - EXISTING OUTLINE OF BUILDING. - INDICATES SLOPE DIRECTION OF TAPERED INSULATION AT 1/4" FT. MIN. - TAPERED INSULATION CRICKET SLOPED @ 1/4" FT. V.I.F. - CONTRACTOR TO VERIFY DIMENSION IN FIELD. - INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH. H.P. - INDICATES HIGH POINT OF INSULATION. ERD. - EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES. NRD. - ROOF DRAIN & SUMP TO BE INSTALLED. SEE DETAIL A/A3. R.L. - HORIZONTAL ROOF DRAIN LEADER. SEE CONSTRUCTION NOTE #5. S.C. - EMERGENCY OVERFLOW SCUPPER. SEE DETAIL M & Q/A3. C.B. - METAL COLLECTION BOX. SEE DETAIL R/A3. D.S. - METAL DOWNSPOUT. SEE CONSTRUCTION NOTE #3. V.S. - EXIST. VENT STACK. SEE DETAIL B/A3. P.P. - PITCH POCKET DETAIL. SEE DETAIL D/A3. F.U. - EXIST. ROOF TOP FAN UNIT. SEE DETAIL C/A3. M.U. - EXIST. MECHANICAL UNIT. SEE DETAIL U/A3. R.T.U. - EXIST. ROOF TOP MECH. UNIT. SEE DETAIL E/A3. - WALKWAY PADS. SEE CONSTRUCTION NOTE #2. S.L. - SKYLIGHT. SEE DETAIL J/A3. M.L. - METAL LADDER. SEE DETAIL N/A3. E.C. - EXIST. CHIMNEY. SEE DETAIL H/A3. E.U. - EXPANSION JOINT. SEE DETAIL T/A3. L.R. - EXIST. LADDER TO REMAIN. R.H. - ROOF HATCH. SEE DETAIL F/A3. E.R. - EXIST. ROOF HATCH TO REMAIN.	

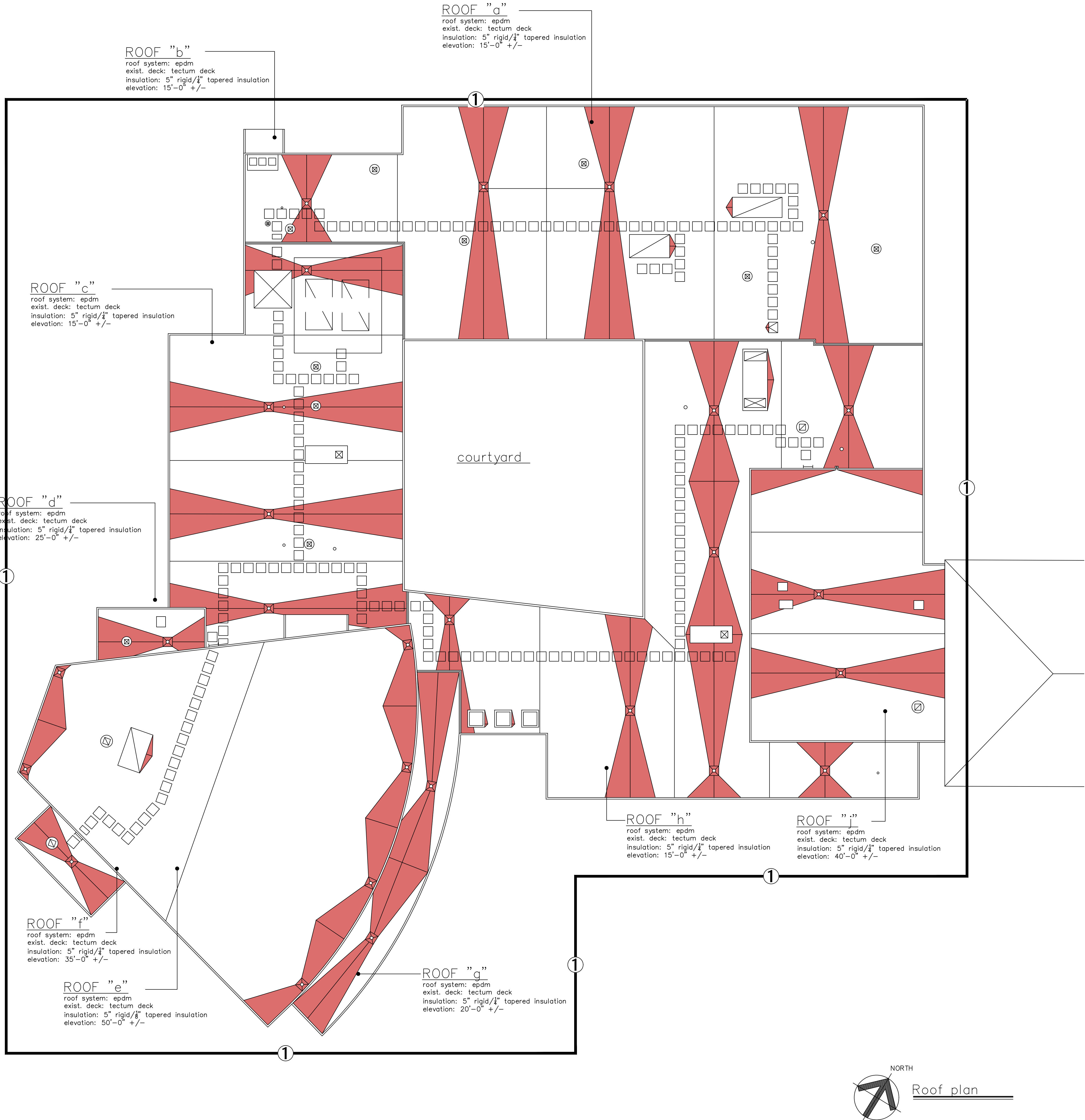


- GENERAL NOTES**
- ALL FLAT ROOFS TO RECEIVE 1/4" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
 - FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
 - ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED 'EXISTING'.
 - ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED (P.T.)
 - ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
 - ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8" (VERTICAL OR HORIZONTAL)
 - CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
 - CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO INSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
 - CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
 - SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED, W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEEDED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
 - CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER.
 - SHAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
 - ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/4" PER FOOT & COORDINATE CRICKETS AROUND EXIST. HVAC UNITS AS REQUIRED TO AVOID PONDING.
 - CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.
 - SHAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
 - ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
 - NEW ROOF INSULATION TO BE A MINIMUM OF 4" AT ALL NEW ROOF DRAINS & LOW POINTS OF THE ROOF AREAS
 - ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

- DEMOLITION NOTES** (X)→
- REMOVE ALL EXISTING EPDM ROOFING & INSULATION.
 - REMOVE ALL INDICATED EXISTING WOOD BLOCKING.
 - REMOVE ALL INDICATED EXISTING METAL FLASHING.
 - REMOVE EXISTING SKYLIGHTS.
 - REMOVE EXISTING ROOF DRAINS & SUMP.

- CONSTRUCTION NOTES** (X)→
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF TECTUM DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - WALKWAY PADS TO BE INSTALLED. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - INSTALL NEW METAL DOWNSPOUTS @ ALL INDICATED SCUPPER LOCATIONS. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - INSTALL NEW CONCRETE SPLASHBLOCKS @ ALL INDICATED METAL DOWNSPOUT LOCATIONS. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
 - HORIZONTAL ROOF LEADER (MATCH DIAMETER OF EXIST.) ABOVE CEILING SLOPED @ 1/4" FT. MIN. THE VERTICAL LEADERS INTO EXIST. PIPING AS REQ'D. SEAL ALL PENETRATIONS THROUGH WALLS W/FIRE PUTTY AS REQ'D BY CODE. PATCH & REPAIR ALL AREAS DAMAGED BY INSTALLATION OF NEW PIPING.
 - EXISTING CHAIN LINK FENCE TO BE REMOVED & REINSTALLED TO ACCOMMODATE ROOFING OPERATIONS.





- GENERAL NOTES:**
1. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.
 2. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR REMOVING ALL LAYERS OF ROOFING MATERIALS (AND CLEANING ADJACENT SUBSTRATES TO REMAIN) AND DISPOSING OF AS ASBESTOS CONTAINING MATERIALS. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) MUST PERFORM ENOUGH DEMOLITION TO ACCESS ALL ASBESTOS CONTAINING MATERIALS TO BE REMOVED THAT IS AFFECTED BY WORK.
 3. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR COORDINATING ABATEMENT WORK WITH THE GENERAL AND DEMOLITION CONTRACTORS, CONSTRUCTION MANAGER, BUILDING OWNER, ARCHITECTS, ENGINEERS AND CONSULTANTS.
 4. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR CLEANING/DECONTAMINATING/ABATING THE INTERIORS OF THE BUILDING SHOULD THE REMOVAL/ABATEMENT TECHNIQUES RESULT IN ASBESTOS CONTAINING MATERIALS/WASTE ENTERING THE BUILDING. THE WORK WILL INCLUDE PRE-CLEANING AREAS, MOVEABLE AND NONMOVEABLE OBJECTS, CONSTRUCTING CONTAINMENTS, ETC. THE OWNER'S CONSULTANT WILL PERFORM VISUAL INSPECTIONS AND RE-OCCUPANCY AIR TESTING. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) WORK WILL ALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- HAZARDOUS BUILDING MATERIALS ABATEMENT NOTES:**
- ① THE HAZARDOUS BUILDING MATERIALS/ROOFING CONTRACTOR(S) SHALL REMOVE AND DISPOSE OF ALL ASBESTOS-CONTAINING "OLDER" PERIMETER ROOF FLASHING MATERIALS ON BRICK WALLS/WALLS, CHIMNEY AND COPPER FLASHING (ON TOP AND BEHIND) (SOME LOCATIONS HAVE NEWER ROOFING MATERIALS INSTALLED ON TOP OF ASBESTOS-CONTAINING FLASHING) THAT WILL BE AFFECTED BY WORK AS ACM.

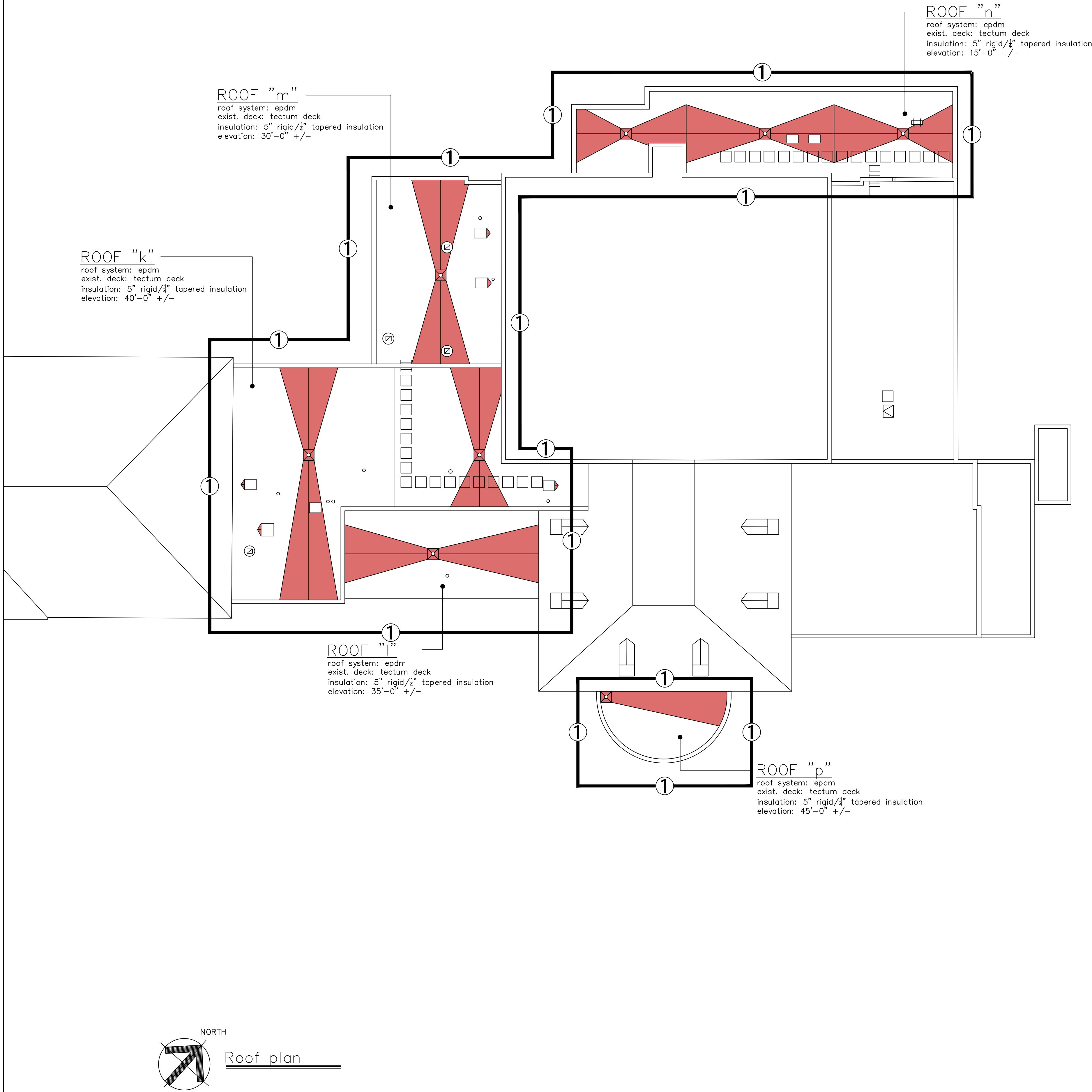
Project Title:
Saugatuck Elementary School
Partial Roof Replacement
170 Riverside Avenue
Westport, CT 06880

 SILVER / PETRUCCELLI + ASSOCIATES
Architects/ Engineers/ Interior Designers
3190 Whitney Avenue, Hamden, CT 06518-2340
One Post Hill Place, New London, CT 06320
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucelli.com

Revision:	Description:	Date:	Revised By:

Drawing Title:	Date:	Drawing Number:
Hazardous Building Materials Abatement Plan - Roof #1	05/01/2021	HBM-01
	Scale:	
	Not To Scale	
	Drawn By:	
	HHG/MM	
Project Number:	21.062	

- GENERAL NOTES:**
1. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING CONDITIONS AND FOR NOTIFYING THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO FINALIZING BID.
 2. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR REMOVING ALL LAYERS OF ROOFING MATERIALS (AND CLEANING ADJACENT SUBSTRATES TO REMAIN) AND DISPOSING OF AS ASBESTOS CONTAINING MATERIALS. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) MUST PERFORM ENOUGH DEMOLITION TO ACCESS ALL ASBESTOS CONTAINING MATERIALS TO BE REMOVED THAT IS AFFECTED BY WORK.
 3. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR COORDINATING ABATEMENT WORK WITH THE GENERAL AND DEMOLITION CONTRACTORS, CONSTRUCTION MANAGER, BUILDING OWNER, ARCHITECTS, ENGINEERS AND CONSULTANTS.
 4. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) IS/ARE RESPONSIBLE FOR CLEANING/DECONTAMINATING/ABATING THE INTERIORS OF THE BUILDING SHOULD THE REMOVAL/ABATEMENT TECHNIQUES RESULT IN ASBESTOS CONTAINING MATERIALS/WASTE ENTERING THE BUILDING. THE WORK WILL INCLUDE PRE-CLEANING AREAS, MOVEABLE AND NONMOVEABLE OBJECTS, CONSTRUCTING CONTAINMENTS, ETC. THE OWNER'S CONSULTANT WILL PERFORM VISUAL INSPECTIONS AND RE-OCCUPANCY AIR TESTING. THE HAZARDOUS BUILDING MATERIALS ABATEMENT/ROOFING CONTRACTOR(S) WORK WILL ALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
- HAZARDOUS BUILDING MATERIALS ABATEMENT NOTES:**
- ① THE HAZARDOUS BUILDING MATERIALS/ROOFING CONTRACTOR(S) SHALL REMOVE AND DISPOSE OF ALL ASBESTOS-CONTAINING "OLDER" PERIMETER ROOF FLASHING MATERIALS ON BRICK WALLS/WALLS, CHIMNEY AND COPPER FLASHING (ON TOP AND BEHIND) (SOME LOCATIONS HAVE NEWER ROOFING MATERIALS INSTALLED ON TOP OF ASBESTOS-CONTAINING FLASHING) THAT WILL BE AFFECTED BY WORK AS ACM.



Project Title:
Saugatuck Elementary School
Partial Roof Replacement
170 Riverside Avenue
Westport, CT 06880



SILVER / PETRUCELLI + ASSOCIATES
Architects/ Engineers/ Interior Designers
3190 Whitney Avenue, Hamden, CT 06518-2340
One Post Hill Place, New London, CT 06320
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucelli.com

Revision:	Description:	Date:	Revised By:

Drawing Title:
Hazardous Building
Materials Abatement Plan -
Roof #2

Date:
05/01/2021

Scale:
Not To Scale

Drawn By:
HHG/MM

Project Number:
21.062

Drawing Number:
HBM-02